TOWNSHIP of HOPEWELL

MERCER COUNTY

201 WASHINGTON CROSSING – PENNINGTON ROAD
TITUSVILLE, NEW JERSEY 08560-1410

PROJECT / APPLICATION

BLOCK:	85 / 86
LOT:	3 & 9 / 32, 33, 34 & 130
ADDRESS:	12 Wash Cross Penn Road, 1646 Reed Road, 24 & 26 Diverty Road
PROJECT NAME:	The Collection at Hopewell - Preliminary/Final Major Subdivision and Site Plan

PLANS

Part 2 - Site Layout

PRELIMINARY AND FINAL MAJOR SUBDIVISION & PRELIMINARY AND FINAL SITE PLAN

FOR

THE COLLECTION at HOPEWELL

US HOME AT HOPEWELL URBAN RENEWAL, LLC

BLOCK 85, LOT 3; BLOCK 86, LOTS 32-34 & 130; AND PART OF BLOCK 85, LOT 9

TAX MAP SHEET 20, DATED 8/1941
AND SHEET 20.02 DATED 8/1941

TOWNSHIP OF HOPEWELL
MERCER COUNTY, NEW JERSEY

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KEY MAP
SCALE: 1"= 1,000'

SCALE: 1"=1,000'
0 1,000 2,000 4,000 ft.

APPROVALS:

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT COMPLIES WITH ALL APPROVALS GRANTED BY THE TOWNSHIP OF HOPEWELL.

TOWNSHIP ENGINEER _____ DATE _____

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF HOPEWELL.

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

TOWN ENGINEER _____ DATE _____

OWNER - BLOCK 85, LOT 3:
TOWNSHIP OF HOPEWELL
201 WASHINGTON CROSSING PENNINGTON RD.
TITUSVILLE, NJ 08560

OWNER - BLOCK 86, LOTS 32-34 & 130:
WILLIAM HEITZMAN & DORINA FRIZZERA
100 AUNT MOLLY ROAD
HOPEWELL, NJ 08525

OWNER - BLOCK 85, LOT9:
MICHAEL M. KANE
1646 REED ROAD
PENNINGTON, NJ 08534

APPLICANT:
US HOME AT HOPEWELL URBAN RENEWAL, LLC
(dba LENNAR)
2465 KUSER ROAD, 3RD FLOOR
HAMILTON, NJ 08690

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

PLANS ARE FINAL FOR SANITARY SEWER AND WATER MAIN DESIGN

REVISION	DATE	CHKD
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PROJ.: 080661-F1-001
DATE: 11-20-2020
CHKD: SAD

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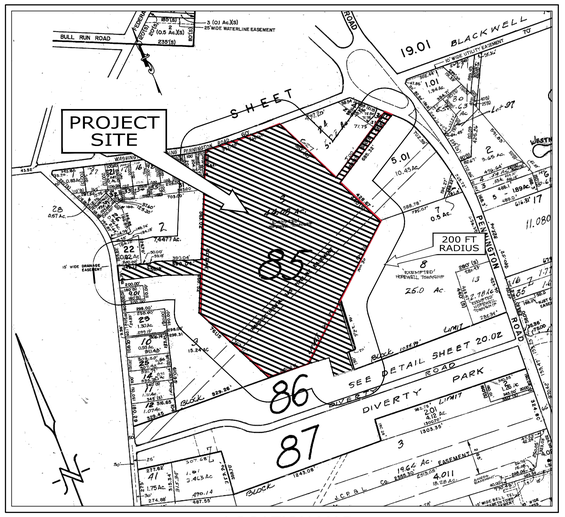
Bowman CONSULTING

Bowman Consulting Group, Ltd.
101 Poor Farm Road
Freehold, New Jersey 07728
E-mail: NJ@BowmanConsulting.com
Phone: 732-665-5000
FAX: 732-665-5501
NJ Certificate of Authorization No. 24GA28225900
SEAN A. DELANY, N.J. Professional Engineer, Lic. 24GE04447100

PRELIMINARY & FINAL MAJOR SUBDIVISION AND PRELIMINARY & FINAL SITE PLAN
THE COLLECTION at HOPEWELL
COVER SHEET
BLOCK 85, LOT 3; BLOCK 86, LOTS 32-34 & 130; AND PART OF BLOCK 85, LOT 9
TOWNSHIP OF HOPEWELL, MERCER COUNTY, NEW JERSEY

SHEET No. 1 OF

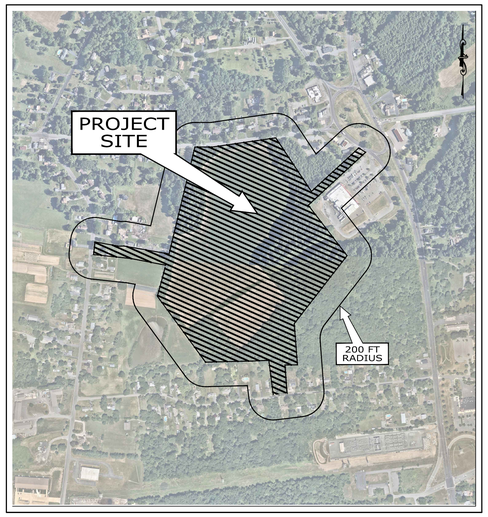
V:\080661 - Zoltz Parcel Residential-Hopewell Twp\080661-01-002 (ENG) - Lennar-Zoltz Parcel Res-Hopewell Twp\Engineering\Engineering Plans\Sht-CV-01.dwg 11/20/20 03:06:19PM, kirkwood, LAYOUT:01 CV
Scale: 1"=1'-0"
Plot Scale: 1:1



LOCATION MAP
SCALE: 1"= 500'

REFERENCE:
HOPEWELL TOWNSHIP TAX MAP SHEET 20 DATED AUGUST 1941

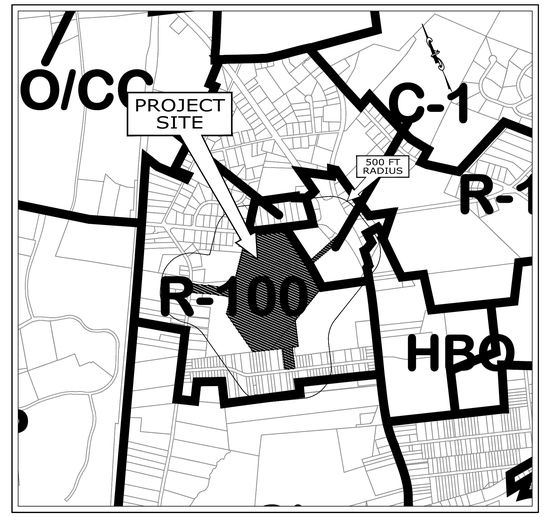
SCALE: 1"=500'
0 500 1,000 2,000 ft.



AERIAL MAP
SCALE: 1"= 500'

REFERENCE:
AERIAL 2020 HIGH RESOLUTION ORTHOPHOTOGRAPHY OBTAINED FROM NEARMAP IMAGERY.

SCALE: 1"=500'
0 500 1,000 2,000 ft.



ZONING MAP
SCALE: 1"=1000'

REFERENCE:
HOPEWELL TOWNSHIP ZONING MAP REVISED 2006

SCALE: 1"=1,000'
0 1,000 2,000 4,000 ft.

ZONING TABLE

ZONE: INCLUSIONARY MULTI-FAMILY-X (IMF-X)
PERMITTED USE: YES

EXISTING USE: FARMLAND
PROPOSED USE:

QTY	TYPE
61	3-Story Traditional Townhouses
144	3-Story Stacked Townhouses
78	3-Story COAH Apartments
96	3-Story Multi-Family Units
379	UNITS

ZONING STANDARD	STANDARD	PROVIDED	CONFORMANCE
Min. Lot Area (Tract)	30 ACRES	49.39 ACRES	CONFORMS
Min. Residential Lot Area	N/A	N/A	N/A
Min. Lot Width (Tract)	100 FEET	641.21 FEET	CONFORMS
Min. Lot Depth (Tract)	125 FEET	1,926 FEET	CONFORMS
Min. Front Yard Setback (Tract)	75 FEET	233.20 FEET	CONFORMS
Min. Side Yard Setback (Tract)	40 FEET	69.10 FEET	CONFORMS
Min. Rear Yard Setback (Tract)	50 FEET	111.70 FEET	CONFORMS
Min. Setback from Buildings Onsite:			
Front to Front	60 FEET	77.3 FEET	CONFORMS
Front to Side	40 FEET	95 FEET	CONFORMS
Side to Side	20 FEET	30 FEET	CONFORMS
Rear to Rear	50 FEET	63.1 FEET	CONFORMS
Rear to Side	30 FEET	N/A	CONFORMS
Min. Building Setback to Roadway	15 FEET	15 FEET	CONFORMS
Max. Building Coverage (Residential)	30%	11.9%	CONFORMS
Max. Impervious Coverage	60%	42.3%	CONFORMS
Max. Building Height: South of Transco ROW North of Transco ROW	45 Ft./3 stories 55 Ft./3 stories	<45 Ft./3 stories <55 Ft./3 stories	CONFORMS CONFORMS
Maximum Gross Residential Density	12 units/ acre	9 units/ acre	CONFORMS
Maximum Units per Building: Traditional Townhouse Stacked Townhouse Multi-Family Building	 8 units/ bldg. 16 units/ bldg. 30 units/ bldg.	 8 units/ bldg. 16 units/ bldg. 24 units/ bldg. Max.	CONFORMS CONFORMS CONFORMS CONFORMS
PARKING			
Parking Setbacks: From Building From Property Line From Existing Public Street	 10 FEET 5 FEET 25 FEET	 15 FEET 5.4 FEET 486 FEET	 CONFORMS CONFORMS N/A
Parking Stall Size	9 FT x 18FT	9 FT x 18FT	CONFORMS
Drive Aisle Width (Alley BB)	24 FEET	22 FEET	WAIVER
Drive Aisle Width (All other roads)	24 FEET	24 FEET	CONFORMS
TOWNHOUSE Parking Spaces: Quantity	146 Spaces (per RSIS) 61 3+ BR Units x 2.4 Spaces/Unit =146.4 Spaces	214 Total Spaces 61 Units x 3 Spaces/Unit = 183 Spaces (2 Car Garage & Driveway = 3 Spaces as per RSIS) On Street Parking = 31 spaces	CONFORMS
STACKED TOWNHOUSE Parking Spaces: Quantity	339 Spaces (per RSIS) 72 2BR Units x 2.3 Spaces/Unit =165.6 Spaces 72 3BR Units x 2.4 Spaces/Unit = 172.8 Spaces	365 Total Spaces 72 Units x 2 Spaces/Unit = 144 Spaces 72 Units x 2 Spaces/Unit = 144 Spaces (1 Car Garage & Driveway = 2 Spaces as per RSIS) On Street Parallel Parking = 77 Spaces	CONFORMS
COAH 1 Parking Spaces: Quantity	36 Spaces (per RSIS) 3 1BR Units x 1.8 Spaces/Unit = 5.4 spaces 12 2BR Units x 2.0 Spaces/Unit = 24 spaces 4 3BR Units x 2.1 Spaces/Unit = 6.3 spaces	36 Total Spaces 33 9' x 18' Spaces 3 Parallel Parking Spaces	CONFORMS
COAH 2 Parking Spaces: Quantity	39 Spaces (per RSIS) 4 1BR Units x 1.8 Spaces/Unit = 7.2 spaces 13 2BR Units x 2.0 Spaces/Unit = 26 spaces 4 3BR Units x 2.1 Spaces/Unit = 6.3 spaces	41 Total Spaces 41 9' x 18' Spaces	CONFORMS
COAH 3&4 Parking Spaces: Quantity	76 Spaces (per RSIS) 6 1BR Units x 1.8 Spaces/Unit = 10.8 spaces 24 2BR Units x 2.0 Spaces/Unit = 48 spaces 8 3BR Units x 2.1 Spaces/Unit = 16.8 spaces	76 Total Spaces 72 9' x 18' Spaces 4 Parallel Parking Spaces	CONFORMS
MULTI-FAMILY Parking Spaces: Quantity	192 Spaces (per RSIS) 96 2BR Units x 2.0 Spaces/Unit = 192 Spaces	192 Spaces	CONFORMS
ADDITIONAL ON-STREET GUEST PARKING	N/A	19 Spaces	CONFORMS
TOTAL SITE PARKING	828 Spaces	943 Spaces	CONFORMS
On-Street Guest Parking Stall Size	9 Ft. x 18 Ft.	9 Ft. x 18 Ft.	CONFORMS
On-Street Parallel Parking Stall Size	21 Ft. x 7 Ft.	22 Ft. x 7 Ft.	CONFORMS
Parking Setback (Overall Tract)	5 Ft.	5.4 Ft.	CONFORMS
Min. Drive Aisle Width	24 Ft.	24 Ft.	CONFORMS

GENERAL NOTES:

1. Boundary and Topographic Information shown hereon taken from an Autocad drawing entitled "ALTA/NSPS LAND TITLE SURVEY BLOCK 85 LOT 3 AND BLOCK 86 LOTS 32, 33, 34 AND 130 TOWNSHIP OF HOPEWELL, MERCER COUNTY, STATE OF NEW JERSEY" by Bowman Consultings Martin F. Tirella P.L.S dated 2/10/18 revised 10/30/18.
2. Underground utilities shown hereon are approximate and based solely upon above ground observations, mark-outs and/or plans provided by utility companies. The accuracy or completeness of the information shown regarding underground utilities is not guaranteed by the engineer. Connections between structures, if and where shown, may not represent actual below ground conditions. Contractor and subcontractors are responsible for ordering mark-outs, coordination with the various utility companies and for making their own determination as to the location and depth of all underground utilities prior to any construction to assure disturbance and/or disruption of existing utilities is avoided where possible and minimized in all cases. As the exact elevation of existing utilities may be unknown to engineer, contractor is advised that the potential for conflicts with proposed work may exist. Exploratory excavations, contract contingencies or exclusions with Owner should be made to accommodate such an event. In the event the Contractor identifies a conflict between the proposed work and existing utilities, the conflict shall be brought to the attention of Bowman Consulting Group and the Owner prior to any work being performed.
   a. The Contractor shall determine the location and depth of the existing utility to which connection is being made before laying any pipe, conduit, etc. Discrepancies shall be reported to Bowman Consulting Group
   b. Any temporary interruption of service to the site and/or adjacent properties shall be pre-approved in writing (email) by the respective utility.
   c. Electric, telephone, cable television and all other utility services shall be installed underground at locations determined by each respective utility entity, subject to any required municipal approval, regardless of whether or not the utilities are shown on the plans. The Contractor shall coordinate the construction of all utility mains and services with each utility entity and provide whatever construction support is required for achieving utility service. The Contractor is advised to contact each respective utility company prior to construction to identify and coordinate any scheduling requirements.
   d. Should it be required to excavate one or more trenches in existing roadways, backfilling and pavement replacement/repair shall be in accordance with the specifications of the municipality or county, as applicable. Verification of backfill requirements shall be made prior to bid.
4. The Owner shall provide a copy of all permits and approvals issued for the project to the Contractor. The Contractor shall be responsible for reading and complying with the terms and conditions of all permits, approvals and authorizations issued by the various regulatory authorities for the project. The Contractor is also responsible for confirming with the Engineer that the permits and approvals provided by the Owner is complete.Responsibility for any additional permits required as construction progresses, such as building permits (including building permits for retaining walls) and road opening permits shall be coordinated between the Contractor and Owner.
5. Prior to any construction or site preparation activity, the Contractor shall complete the following:
   - Verify the information shown on these plans is consistent with the information shown on all other plans (architectural, landscaping, etc.) being used for construction of the project. Also, verify the plans are consistent with all conditions and requirements set forth in the permits. Report any discrepancies/inconsistencies to the Owner and Bowman Consulting prior to any construction.
   - Verify the plans contain the raised seal of the engineer and display the latest revision as "Issued for Construction". The use of any other plans is at the Contractor's risk.
   - Determine all applicable specifications, as well as all requirements for shop drawings, inspections and testing applicable to project by contacting the local building official, municipal engineer and each affected utility company (or agency). In the event of a conflict between any specifications and the information shown on these plans, Bowman Consulting and the Owner shall be notified in order to resolve the conflict prior to any construction.
   - Contact the local police department relevant to any work to be performed in or near public streets, as well as ingress and egress requirements during construction. Traffic control requirements shall be established between the Contractor and police department at this time.
6. These plans are intended specifically and solely for the construction of the subject project and shall not be used for any other purpose. The copying or modification of these plans or any portion thereof is a violation of copyright law.
7. Relevant documentation pertaining to any product proposed by the Contractor on the basis of an "approved equal" shall be submitted to the municipal engineer and Bowman Consulting at least two weeks in advance of ordering product. The product must be approved for incorporation into the project by both the municipal engineer and Bowman Consulting Group.
8. All confirmations/verifications between the Contractor, Owner and/or Engineer shall be via email or other written form(s) of communication.
9. Contractor to notify the applicable Soil Conservation District in writing at least 72 hours prior to any site preparation or construction activities.
10. Contractor to call the New Jersey One Call System (800-272-1000) to have all underground utilities located prior to any site disturbance.
11. The contractor shall provide the Owner and Bowman Consulting Group with a list of all shop drawings, inspections, testing, certifications, as-built plans and similar post-construction approval requirements pertaining to the project. The list shall identify the specific individual responsible for performing each test and/or providing each certification and/or as-built map. In particular, should NJDEP permits apply to any utility construction and should the permit require a certification of the work upon completion, the Contractor shall determine the individual responsible for providing the certification. The Contractor shall then be responsible for coordinating with each individual identified on the list and scheduling the work to assure each individual has sufficient opportunity to conduct the required tests, obtain required measurements and/or perform any services or work required to prepare the required post-construction approval documents.
12. Contractor to coordinate all work with all utility companies and/or public agencies providing utility service, as applicable, and abide by all of their requirements relevant to the performance and inspection of all work affecting their utilities, including complying with any and all testing requirements. In the event requirements or specifications of the utility company or public authority conflict with the plans, the municipal requirements shall govern. In such case, the Contractor shall advise the Owner and Engineer prior to proceeding with any work.
13. Contractor to coordinate with the Owner relevant to the scheduling of all work and any restrictions thereto, (such as maintaining operations at the site or ingress/egress restrictions, etc.). Any requirements for phasing and/or multiple mobilizations shall be identified and resolved prior to commencement of the work.
14. It is the Contractor's responsibility to protect all property markers and monuments from disturbance throughout construction. Notify the Owner immediately should any property markers or monuments be inadvertently disturbed or damaged.
15. Prior to any construction, the horizontal limits of the work (Limits of Disturbance - LOD) shall be established and delineated on-site. Disturbance beyond these permitted limits exposes the contractor to fines and penalties by regulatory agencies.
16. The exact location of all work shall be established from the control points and all stakeout shall be referenced from baselines established from the control points. All dimensions and distances, both horizontal and vertical, shall be verified for consistency with the plans by the entity responsible for layout prior to the construction of each project element. In the event of any discrepancies between the layout and dimensions/distances shown on the plans, the layout entity shall notify Bowman Consulting for resolution of the discrepancy prior to any construction for the specific element.
17. Information for field layout shall be taken from the plans. Graphical information as may also be provided via electronic files is intended as drawing data only and is not to serve as basis for survey layout. Standard practice requires the layout entity check dimensional data for consistency and to make survey calculations as customary for layout.
18. The location and inverts of all existing storm and sanitary sewers shown hereon shall be verified by the Contractor prior to any construction. Any discrepancies shall be reported to Bowman Consulting Group immediately and no construction shall commence until any such discrepancies are resolved.
19. The intent of the plans is to provide a smooth transition, maintaining effective positive drainage, at all locations where the proposed construction is to connect to existing infrastructure, such as for curb, pavement, and sidewalk. The entity responsible for stakeout shall--prior to any construction---verify the intended smooth connections will be achieved. Unless otherwise noted on the plans or directed by the inspecting authority, smooth transitions shall be considered to meet the following minimum criteria:
   - No low points or "bird baths" will be created, except at locations where drainage inlets exist or will be constructed.
   - All final grades will have a minimum slope of 1.5% for lawn areas and 0.5% for paved surfaces.
   - Abrupt changes in grade are avoided. Slope changes exceeding 2.0% shall be considered abrupt for the purpose of this requirement. In the event the entity responsible for layout should determine a smooth transition cannot be achieved at one or more locations, Bowman Consulting Group shall be notified for resolution prior to any construction.
20. Grading adjacent to Buildings:
   a. Maximum grade for lawns within 5 feet of a building shall be 10%
   b. Maximum grade for lawns more than 5 feet from a building shall be 25% (4:1)
21. Contractor is responsible for their own verification of existing topographic information, should there be any suspected discrepancies with the topography depicted on the plans and actual physical conditions. Any confirmed discrepancy identified by the Contractor's verification shall be reported to the Engineer for resolution prior to any site disturbance. Once any site disturbance occurs, the Contractor shall have no claim for extra work based upon suspected or confirmed topographic discrepancies.
22. The Contractor is solely responsible for construction site safety and for determining the means and methods for all construction activities. All safety precautions must be undertaken and maintained as required by local, State and Federal codes.
23. The Contractor shall determine and comply with any and all traffic control requirements of the local police department and any public agency hiving jurisdiction relevant to any construction in or near public streets as well as for ingress and egress during construction.
24. The Contractor shall provide necessary barricades, sufficient lights, signs, and other traffic control measures as may be necessary within the project for the protection and safety of the public. All such traffic control devices shall be maintained in satisfactory condition throughout the construction period.
25. The plan has been designed with the intent to comply with all applicable requirements for barrier free access, including the satisfying all requirements of Subchapter 7 of the New Jersey Uniform Construction Code for Barrier Free Access (NJAC 5:23-7), as well as the Americans with Disabilities Act (ADA). In general, barrier free access for site construction is to be provided (between all parking spaces designated as ADA and the front door of adjacent buildings). However, prior to construction, the Contractor shall verify the routes required to be barrier free with the local building code official. Should any identified routes conflict with the grading shown on the plans, the Contractor shall notify Bowman Consulting for resolution prior to any construction.
26. The Contractor is responsible for the completed construction along barrier free routes complying with all applicable requirements at NJAC 5:23-7, whether specifically stated on the plans or not. In particular, the following requirements are noted:
   a. Slopes within accessible parking spaces and adjacent access aisles shall not exceed two percent (2.0%) in any direction.
   b. Slopes for curb ramps shall not exceed 1:12 (8.3%)
   c. All doorways shall have an exterior landing at least four feet wide and five feet long, sloped for positive drainage at two percent (2.0%), unless otherwise specified on the plans.
   d. Each barrier free route shall provide for a minimum four foot unobstructed (car overhangs at curbs must be considered) width with a longitudinal (direction of route) slope no greater than 1:20 (5%). Cross slope shall not exceed two percent (2.0%). In turning areas, cross slope must be less than 2.0 % in all directions. Where shown on the plans and/or where the grading along the path of travel exceeds 5%, a ramp with a maximum slope of 1:12 (8.3%) shall be constructed, having a maximum rise of 30 inches. Hand rails complying with the Subchapter 7 requirements shall be installed for all such ramps, except curb ramps at pavement edges.
   e. Refer to the detail sheets for landings at curb ramps. All other ramps shall be provided with landings at each end and each landing shall be at least five feet long with a width matching the width of the ramp. Landings shall slope no more than two percent (2.0%) in any direction. The Contractor is responsible for assuring all construction along barrier free routes complies with all requirements.
27. Prior to the actual pouring of concrete along barrier free routes, the Contractor shall check all formwork to verify compliance with the applicable barrier free requirements and request confirmation of same by the inspecting authority.
28. A building permit is required for all walls four or more feet in height. Contractor is responsible for securing said permit(s).
29. Bottom of wall elevations (BW) shown on the plans indicate ground elevation at toe of wall upon completion of construction. Footing elevations to be taken from the structural plans procured by the contractor.
30. It is not the intent of these plans to provide structural design for any pre-cast or cast in place concrete structure. All structural design of pre-cast and/or cast-in-place concrete structures shall be prepared by a Professional Engineer retained by the Contractor.
31. Post-construction certification as to the construction of a retaining wall or other structural components to be provided by a professional engineer engaged by the Contractor.
32. Where shop drawings are specified on the plans or required by an inspecting authority, at least three copies of the drawings shall be provided to Bowman Consulting Group for approval. All shop drawings are to be prepared by a New Jersey professional engineer.
33. Unless otherwise noted, all materials and workmanship shall conform to the New Jersey Department of Transportation Standard Specifications for Road and Bridge Construction, latest edition.
34. Contractor shall be responsible for site clean-up following completion of construction. All disposal of debris shall be in accordance with applicable local, county, state and federal regulations.
35. Any damage to existing infrastructure, including by not limited to, pavement, sidewalks, curb, lighting facilities, utilities, or landscaping, due to the actions of the Contractor shall be repaired by the Contractor (at his sole expense) to the satisfaction of the owner of the damaged item.
36. All equipment, materials, etc. shall be confined to the project site. No encroachment onto public right-of-ways or adjacent properties is permitted unless specified on the plans or granted to the Contractor in writing.
37. Any omissions in the standard details or lack of information must be brought to the attention of Bowman Consulting Group, prior to construction.
38. Existing pavement shall be saw cut in straight lines to the full depth of the existing asphalt (except at the edge of butt joints).
39. The frame and grates of all inlets, manholes and sewer cleanout boxes shall be adjusted as necessary to match proposed grades. All such elevation adjustments shall be performed in accordance with all applicable specifications and regulations.
40. All storm and sanitary sewer pipe lengths shown hereon are from center of structure to center of structure, unless otherwise indicated.
41. All RCP to be reinforced concrete pipe conforming to ASTM D-76, Class III, Wall B, unless otherwise indicated.
42. HDPE to be N-12 double walled, (soil tight) corrugated pipe as manufactured by Advanced Drainage Systems, or approved equal.
43. Sanitary sewer shall be separated from water mains by a distance of at least 10 feet horizontally or 18-inches vertically, if horizontal separation is not possible.
44. All PVC sanitary sewer pipe shall be SDR 35.
45. All on-site water main shall have a minimum cover of 4 feet.
46. All water main pipe shall be cement lined ductile iron pipe, Class 52, unless otherwise noted on the plan, with push on joints per Trenton Water Works requirements.
47. All pipe shall be installed in accordance to applicable manufacturers' specifications.
48. Any acid producing soils encountered during construction shall be handled as per the Soil Conservation District guidelines.
49. Maintenance of the Stormwater Management Facility will be the responsibility of the Homeowners Associations.

LEGEND

- PROPOSED STORMWATER LINE
- PROPOSED SANITARY LINE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED SILT FENCE
- PROPOSED WATER LINE
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED RETAINING WALL
- PROPOSED BLOCK LIMIT LINE
- PROPOSED PHASE LIMIT LINE
- PROPOSED GUIDE RAIL
- PROPOSED SPLIT RAIL FENCE
- PROPOSED 'B' INLET
- PROPOSED 'E' INLET
- PROPOSED YARD INLET
- PROPOSED MANHOLE
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED STREET LIGHT
- PROPOSED WATER METER
- PROPOSED CURB STOP
- PROPOSED CLEANOUT
- PROPOSED SIGN
- PROPOSED STREET SIGN

PLANS ARE FINAL FOR SANITARY SEWER AND WATER MAIN DESIGN

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

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PROJ.: 080661-F1-001
DATE: 11-20-2020
CHKD: SAD

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Bowman CONSULTING

Bowman Consulting Group, Ltd.
303 W. Main Street
Freehold, New Jersey 07728
Email: NJ@BowmanConsulting.com
Phone: 732-462-5600
Fax: 732-462-8801
NJ Certificate of Authorization No. 24GA28225600

SEAN A. DELANY, N.J. Professional Engineer, Lic. 24GE04447100

PRELIMINARY & FINAL MAJOR SUBDIVISION AND PRELIMINARY & FINAL SITE PLAN

THE COLLECTION at HOPEWELL

GENERAL NOTES

BLOCK 85, LOT 3, BLOCK 86, LOTS 32-34 & 130, AND PART OF BLOCK 65, LOT 9
TOWNSHIP OF HOPEWELL, MERCER COUNTY, NEW JERSEY

SHEET No.
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OF

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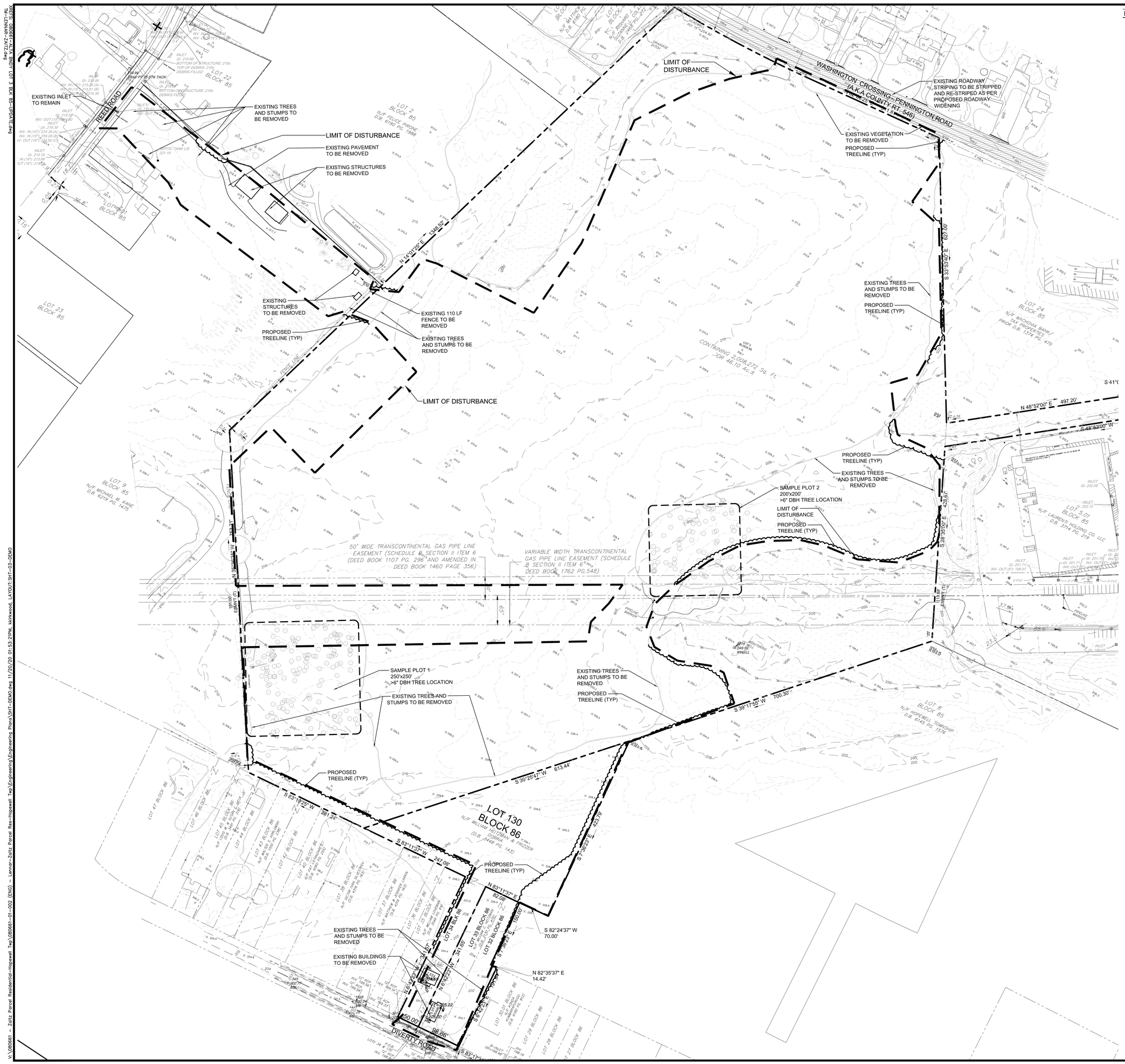
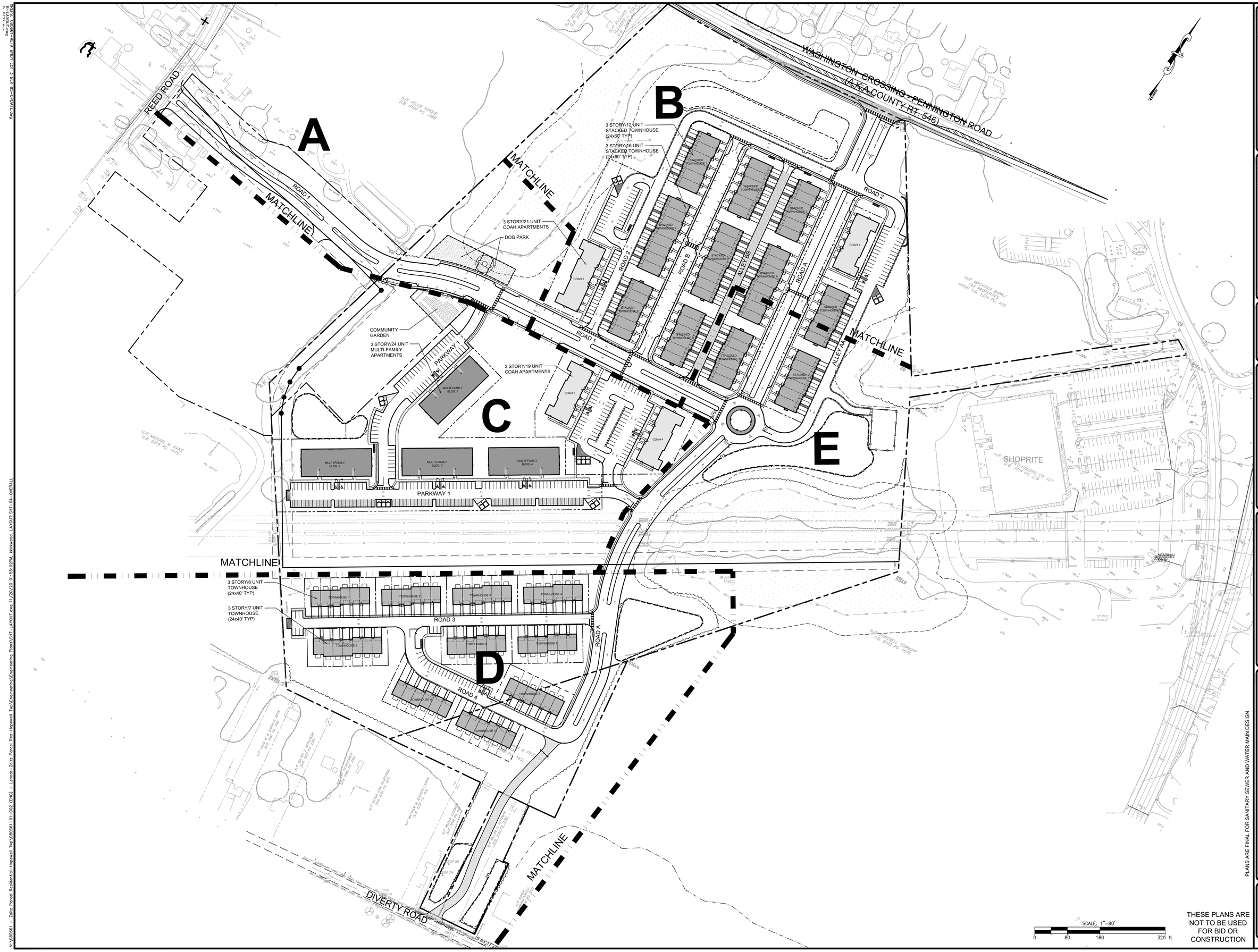

EXISTING INLET TO REMAIN
REED ROAD
EXISTING TREES AND STUMPS TO BE REMOVED
LIMIT OF DISTURBANCE
EXISTING PAVEMENT TO BE REMOVED
EXISTING STRUCTURES TO BE REMOVED
EXISTING STRUCTURES TO BE REMOVED
PROPOSED TREELINE (TYP)
EXISTING 110 LF FENCE TO BE REMOVED
EXISTING TREES AND STUMPS TO BE REMOVED
LIMIT OF DISTURBANCE
LIMIT OF DISTURBANCE
WASHINGTON CROSSING-PENNINGTON ROAD (A.K.A. COUNTY RT. 546)
EXISTING ROADWAY STRIPING TO BE STRIPPED AND RE-STRIPED AS PER PROPOSED ROADWAY WIDENING
EXISTING VEGETATION TO BE REMOVED
PROPOSED TREELINE (TYP)
EXISTING TREES AND STUMPS TO BE REMOVED
PROPOSED TREELINE (TYP)
PROPOSED TREELINE (TYP)
EXISTING TREES AND STUMPS TO BE REMOVED
SAMPLE PLOT 2 200'x200' >6" DBH TREE LOCATION
LIMIT OF DISTURBANCE
PROPOSED TREELINE (TYP)
50' WIDE TRANSCONTINENTAL GAS PIPE LINE EASEMENT (SCHEDULE B SECTION II ITEM 6 (DEED BOOK 1107 PG. 296 AND AMENDED IN DEED BOOK 1460 PAGE 356)
VARIABLE WIDTH TRANSCONTINENTAL GAS PIPE LINE EASEMENT (SCHEDULE B SECTION II ITEM 6 (DEED BOOK 1762 PG.548)
SAMPLE PLOT 1 250'x250' >6" DBH TREE LOCATION
EXISTING TREES AND STUMPS TO BE REMOVED
EXISTING TREES AND STUMPS TO BE REMOVED
PROPOSED TREELINE (TYP)
PROPOSED TREELINE (TYP)
LOT 130 BLOCK 86
PROPOSED TREELINE (TYP)
EXISTING TREES AND STUMPS TO BE REMOVED
EXISTING BUILDINGS TO BE REMOVED
DIVERT ROAD
N 14°01'26" E 1346.52'
S 33°35'30" E 627.00'
N 48°52'00" E 497.20'
S 48°52'00" W
S 29°35'07" E 435.67'
S 39°17'55" W 700.30'
S 39°25'47" W 613.44'
S 83°19'25" W 281.24'
S 83°11'37" W 247.06'
N 83°11'37" E 82.08'
S 82°24'37" W 70.00'
N 82°35'37" E 14.42'
S 82°24'37" W 150.00'
N 82°24'37" E 98.86'
S 83°17'23" E 150.00'
S 39°23'23" E 403.19'
N 82°24'37" E 247.57'
N 82°24'37" E 341.68'
N 82°24'37" E 341.68'
N 82°24'37" E 341.68



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PLANS ARE FINAL FOR SANITARY SEWER AND WATER MAIN DESIGN

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Bowman CONSULTING

Bowman Consulting Group, Ltd.
30 Wallace Street
Freehold, New Jersey 07728
Phone: 732-485-5500
FAX: 732-485-5501
www.BowmanConsulting.com
Email: NJ@BowmanConsulting.com
NJ Certificate of Authorization No. 24GA28226800

Phone: 732-485-5500
FAX: 732-485-5501
NJ Certificate No. 24GE04447100

SEAN A. DELANY, N.J. Professional Engineer, Lic. 24GE04447100

PRELIMINARY & FINAL MAJOR SUBDIVISION AND PRELIMINARY & FINAL SITE PLAN

THE COLLECTION at HOPEWELL
OVERALL SITE AND ORIENTATION PLAN

BLOCK 61, LOT 3 AND BLOCK 61, LOT 32.04 & 32.01
TOWNSHIP OF HOPEWELL, MERCER COUNTY, NEW JERSEY

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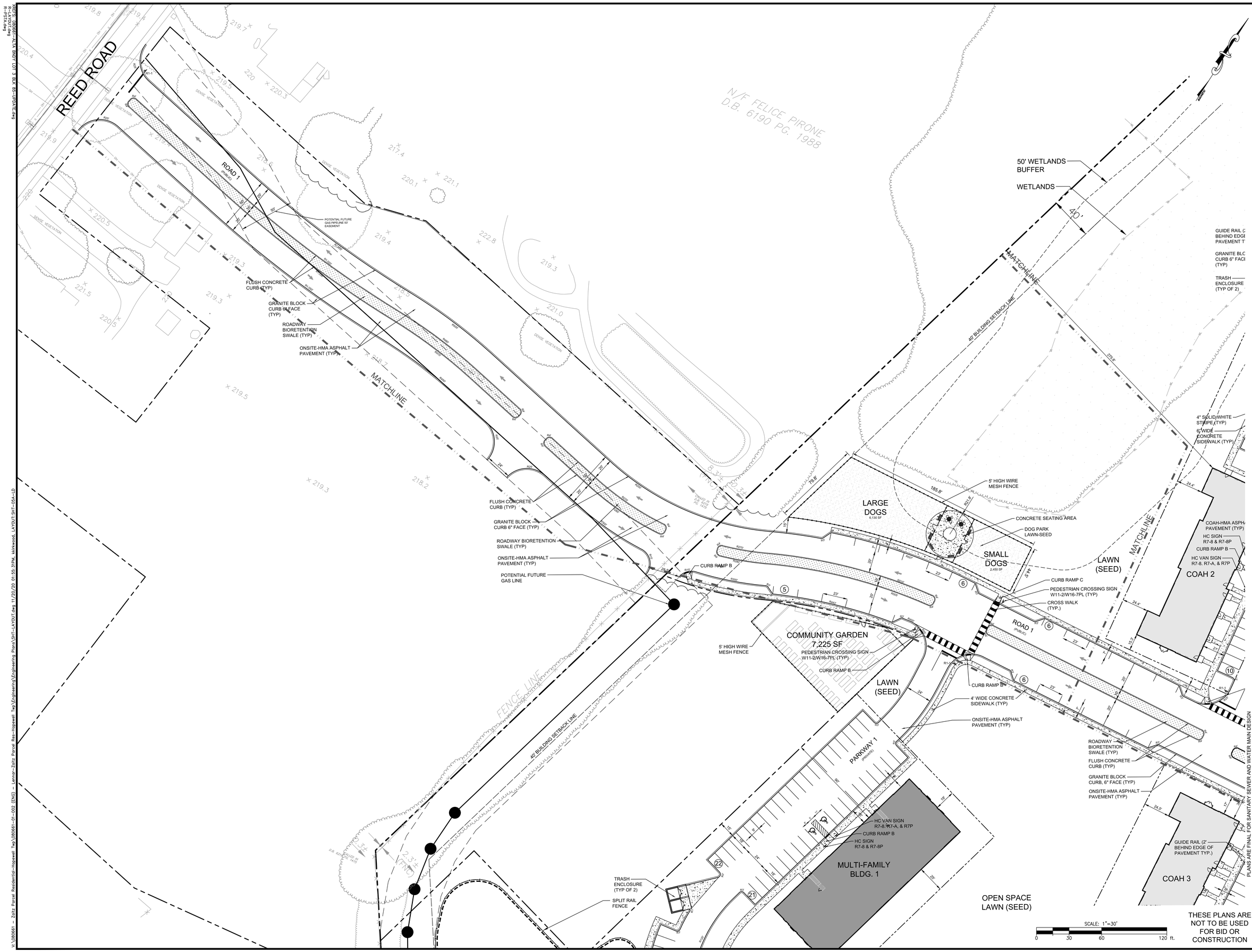

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Bowman Consulting Group, Ltd.
Corporate Center
Freehold, New Jersey 07728
www.BowmanConsulting.com
E-mail: NJ@BowmanConsulting.com

Phone: 732-866-5500
FAX: 732-866-5501
NJ Certificate of Authorization No. 24GA28222600

SEAN A. DELANY, N.J. Professional Engineer, Lic. 24GE04447100

PRELIMINARY & FINAL MAJOR SUBDIVISION AND PRELIMINARY & FINAL SITE PLAN

THE COLLECTION at HOPEWELL
LAYOUT & DIMENSION PLAN

BLOCK 85, LOT 3 AND BLOCK 86, LOTS 32-34 & 130
TOWNSHIP OF HOPEWELL, MERCER COUNTY, NEW JERSEY

SHEET No. 5 OF A

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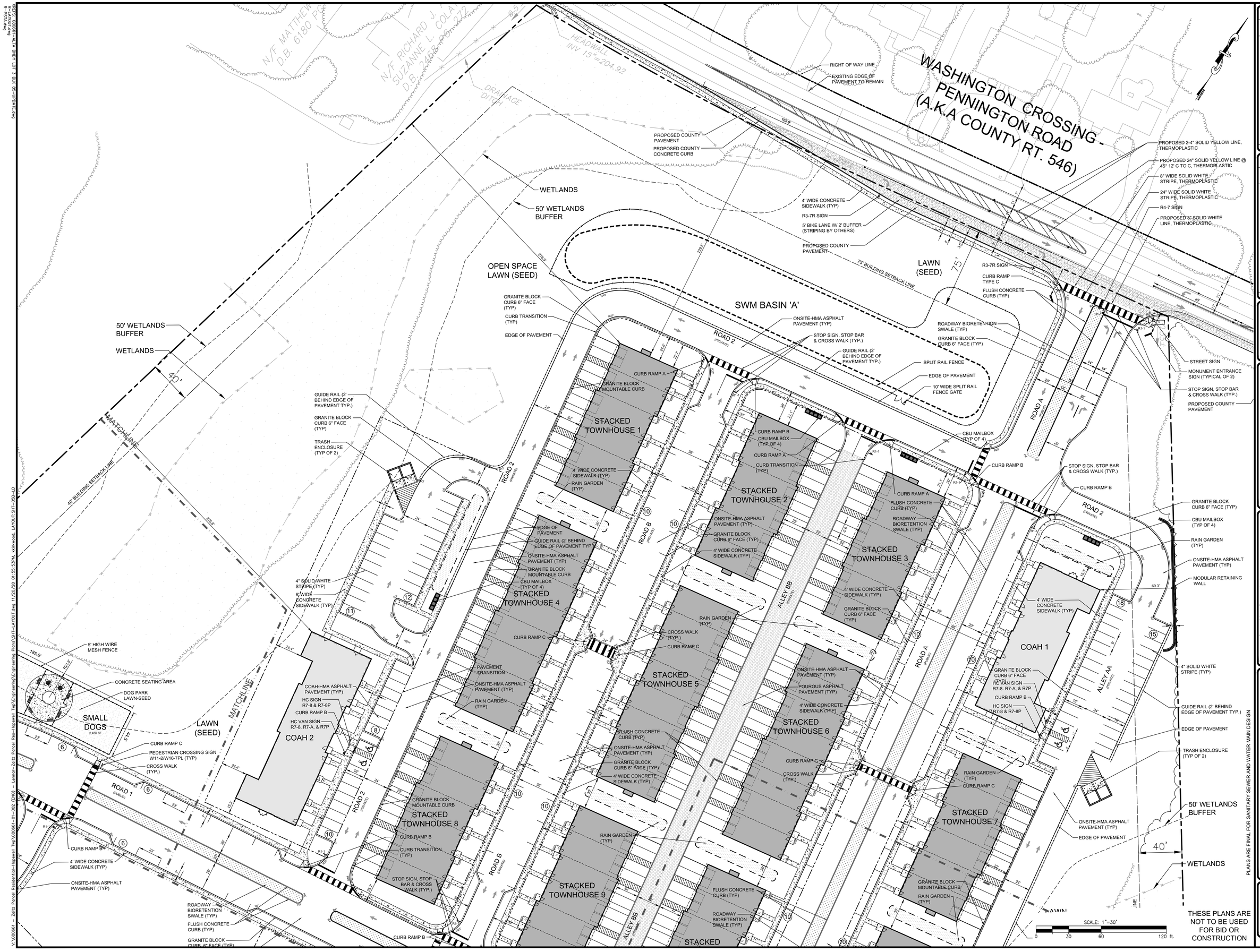

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Bowman CONSULTING

Bowman Consulting Group, Ltd.
Bldg. 1, Suite 100
Freehold, New Jersey 07728
Phone: 732-665-5500
E-mail: NJ@BowmanConsulting.com
Phone: 732-665-5500
FAX: 732-665-5501
NJ Certificate of Authorization No. 24GA28226600
SEAN A. DELANY, N.J. Professional Engineer, Lic. 24GE04447100

PRELIMINARY & FINAL MAJOR SUBDIVISION AND PRELIMINARY & FINAL SITE PLAN

THE COLLECTION at HOPEWELL
LAYOUT & DIMENSION PLAN

BLOCK 85, LOT 3 AND BLOCK 86, LOTS 32-34 & 130
TOWNSHIP OF HOPEWELL, MERCER COUNTY, NEW JERSEY

SHEET No. 5 OF B

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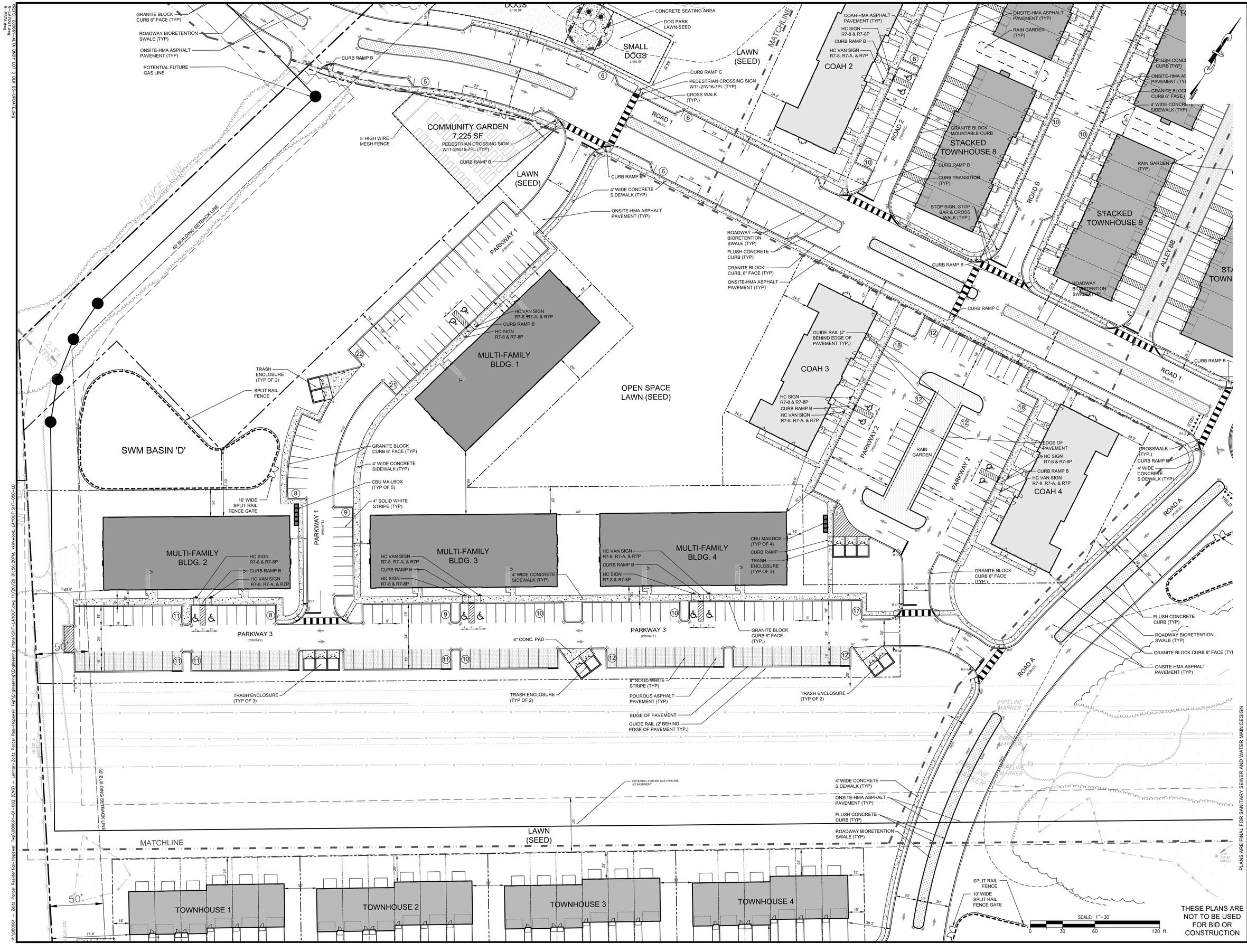

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Bowman Consulting Group, Ltd.
35 Airport Road
Freehold, New Jersey 07728
Phone: 732-866-5500
FAX: 732-866-5501
Website: www.BowmanConsulting.com
E-mail: NJ@BowmanConsulting.com
N.J Certificate of Authorization No. 24GA28226800
SEAN A. DELANY, N.J. Professional Engineer, Lic. 24GE04447100

PRELIMINARY & FINAL MAJOR SUBDIVISION AND PRELIMINARY & FINAL SITE PLAN

THE COLLECTION at HOPEWELL
LAYOUT & DIMENSION PLAN

BLOCK 85, LOT 3 AND BLOCK 86, LOTS 32-34 & 130
TOWNSHIP OF HOPEWELL, MERCER COUNTY, NEW JERSEY

PLANS ARE FINAL FOR SANITARY SEWER AND WATER MAIN DESIGN

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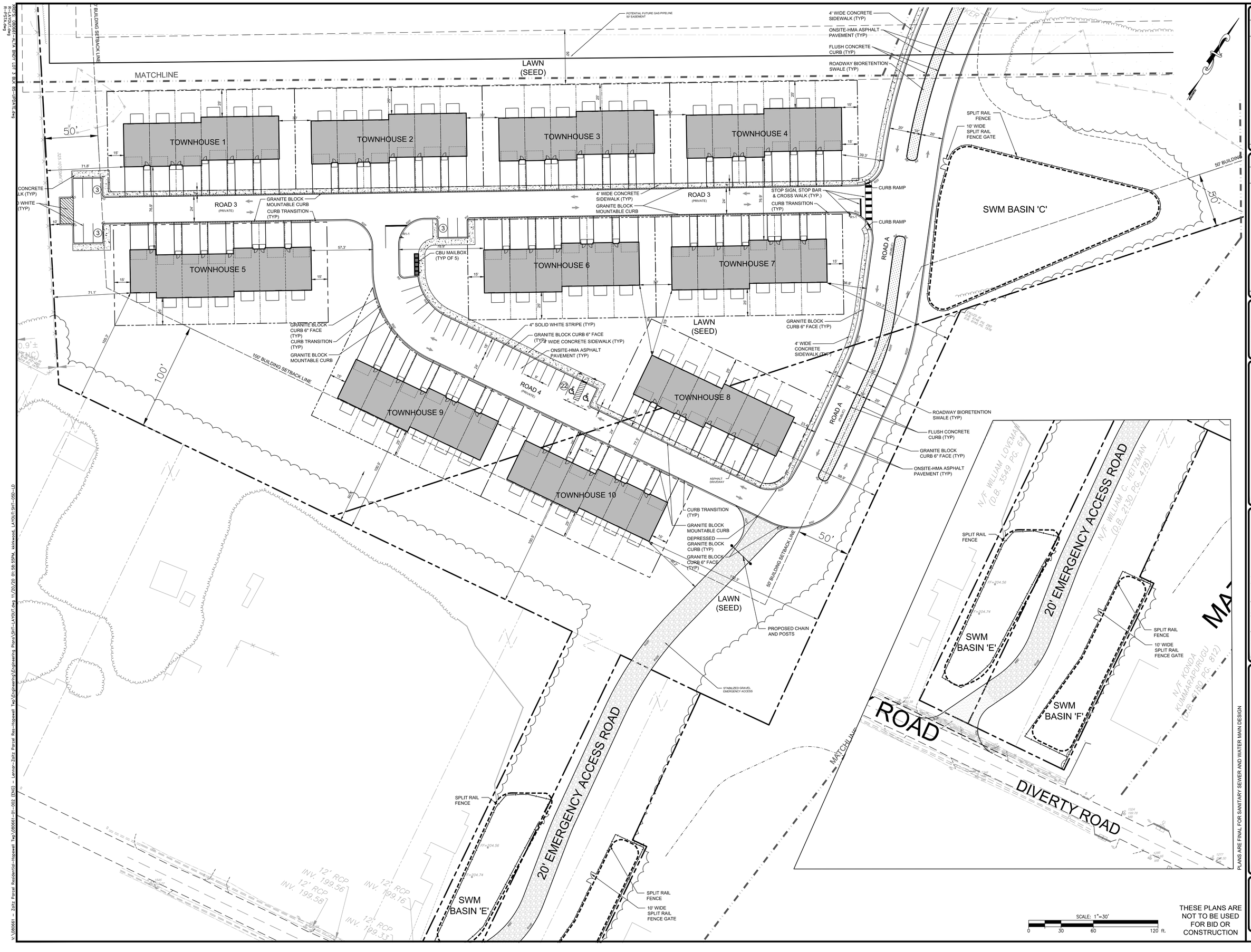

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Bowman Consulting Group, Ltd.
330 Hwy 34 South
Freehold, New Jersey 07728
Web: www.BowmanConsulting.com
E-mail: NJ@BowmanConsulting.com

Phone: 732-866-5000
FAX: 732-866-5001
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PRELIMINARY & FINAL MAJOR SUBDIVISION AND PRELIMINARY & FINAL SITE PLAN

THE COLLECTION at HOPEWELL
LAYOUT & DIMENSION PLAN

BLOCK 85, LOT 3 AND BLOCK 86, LOTS 32-34 & 130
TOWNSHIP OF HOPEWELL, MERCER COUNTY, NEW JERSEY

SHEET No. 5 OF D

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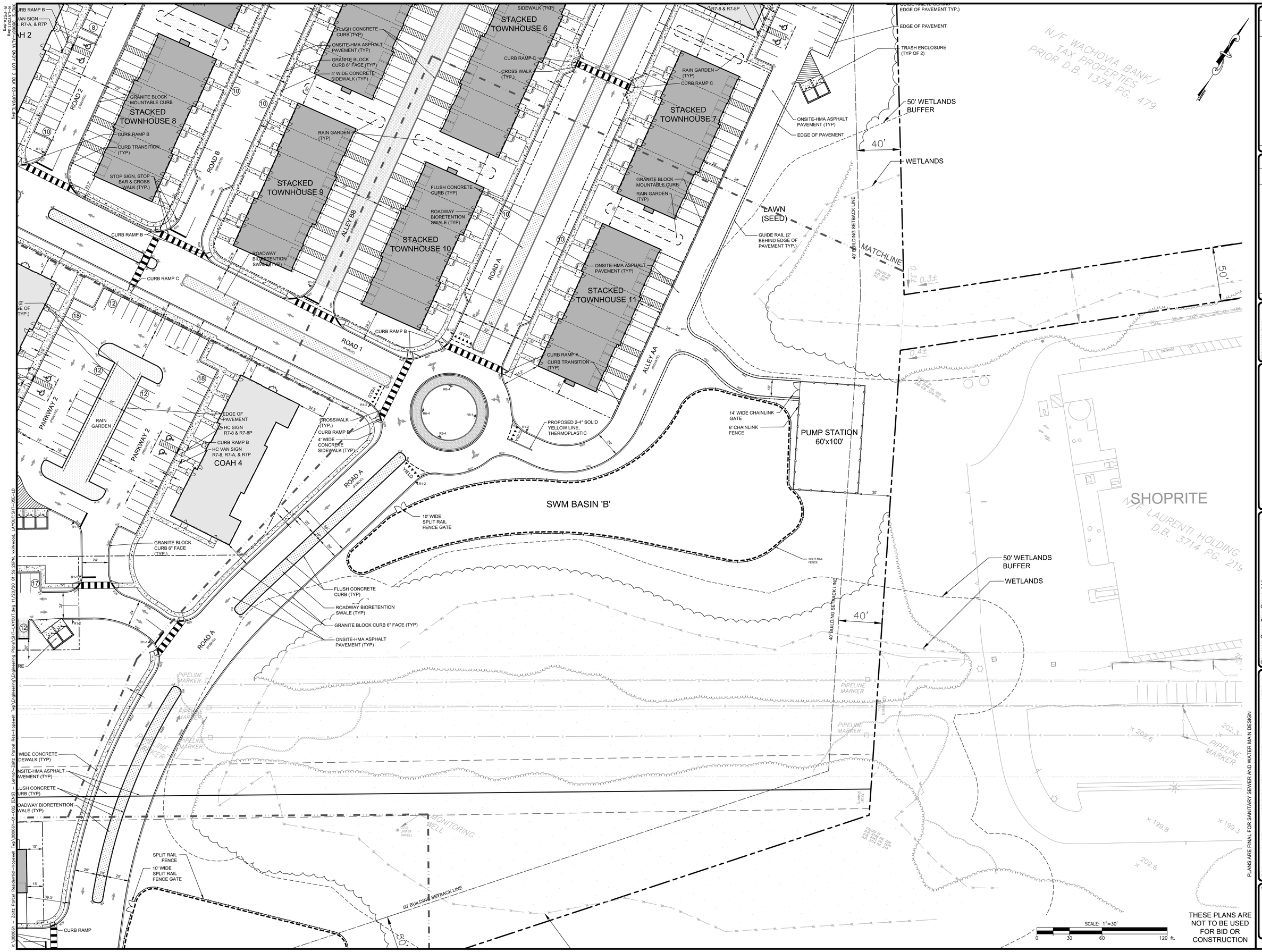

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Bowman Consulting Group, Ltd.
Corporate Headquarters
Freehold, New Jersey 07728
Phone: 732-866-5500
FAX: 732-866-5501
E-mail: NJ@BowmanConsulting.com
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PRELIMINARY & FINAL MAJOR SUBDIVISION AND PRELIMINARY & FINAL SITE PLAN

THE COLLECTION at HOPEWELL
LAYOUT & DIMENSION PLAN

BLOCK 95, LOT 3 AND BLOCK 96, LOTS 32-34 & 130
TOWNSHIP OF HOPEWELL, MERCER COUNTY, NEW JERSEY

SHEET No. 5 OF E

WASHINGTON CROSSING - PENNINGTON ROAD (A.K.A COUNTY RT. 546)

MATCHLINE

PROPOSED 2-4" SOLID YELLOW LINE, THERMOPLASTIC

PROPOSED 24" SOLID YELLOW LINE @ 45° 12' C TO C, THERMOPLASTIC

EXISTING EDGE OF PAVEMENT TO REMAIN

CALLED IN D.B. 6146 PG. 290

HEADWALL INV 15"=204.92

DRAINAGE DITCH

165.9'

4' WIDE CONCRETE SIDEWALK (TYP)

R3-7R SIGN

5' BIKE LANE W/ 2' BUFFER (STRIPING BY OTHERS)

PROPOSED COUNTY CONCRETE CURB

PROPOSED COUNTY PAVEMENT

R3-7R SIGN

CURB RAMP TYPE C

8" WIDE SOLID WHITE STRIPE, THERMOPLASTIC

24" WIDE SOLID WHITE STRIPE, THERMOPLASTIC

14' 14'

60'

MATCHLINE

R3-7L SIGN

EXISTING EDGE OF PAVEMENT TO REMAIN

PROPOSED 2-4" SOLID YELLOW LINE, THERMOPLASTIC

PROPOSED 24" SOLID YELLOW LINE @ 45° 12' C TO C, THERMOPLASTIC

R3-7L SIGN

85'

471.8'

RT. 31 CIRCLE

STREET SIGN

MONUMENT ENTRANCE SIGN (TYPICAL OF 2)

STOP SIGN, STOP BAR & CROSS WALK (TYP.)

R4-7 SIGN

14' 14'

60'

12' 28'

SCALE: 1"=20'

0 20 40 80 ft.

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Bowman Consulting Group, Ltd.
525 Fellowship Road, Suite 110
Freehold, New Jersey 07728
www.BowmanConsulting.com
E-mail: NJ@BowmanConsulting.com

Phone: 732-465-5500
FAX: 732-465-5501
NJ Certificate of Authorization No. 24GA28220600

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PRELIMINARY & FINAL MAJOR SUBDIVISION AND PRELIMINARY & FINAL SITE PLAN

THE COLLECTION at HOPEWELL
COUNTY RT. 546 IMPROVEMENT
PLAN & PROFILES

BLOCK 85, LOT 3 AND BLOCK 86, LOTS 32-34 & 39

TOWNSHIP OF HOPEWELL, MERCER COUNTY, NEW JERSEY

SHEET No. 5 OF F

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