



TOWNSHIP of HOPEWELL
MERCER COUNTY

201 WASHINGTON CROSSING – PENNINGTON ROAD
TITUSVILLE, NEW JERSEY 08560-1410

PROJECT / APPLICATION

BLOCK:

LOT:

ADDRESS:

PROJECT NAME:

ARCHITECTURAL PLANS
1/10/25

Venue at Deer Valley

Block 93 Lot 5.01 and Block 93 Portion of Lots 5.02 and 6.02
Township of Hopewell, Mercer County, NJ



Typical Exterior Details

Scale: $\frac{1}{2}$ " = 1'-0"

Clubhouse



Typical Deck/ Balcony Details

Scale: $\frac{1}{2}$ " = 1'-0"

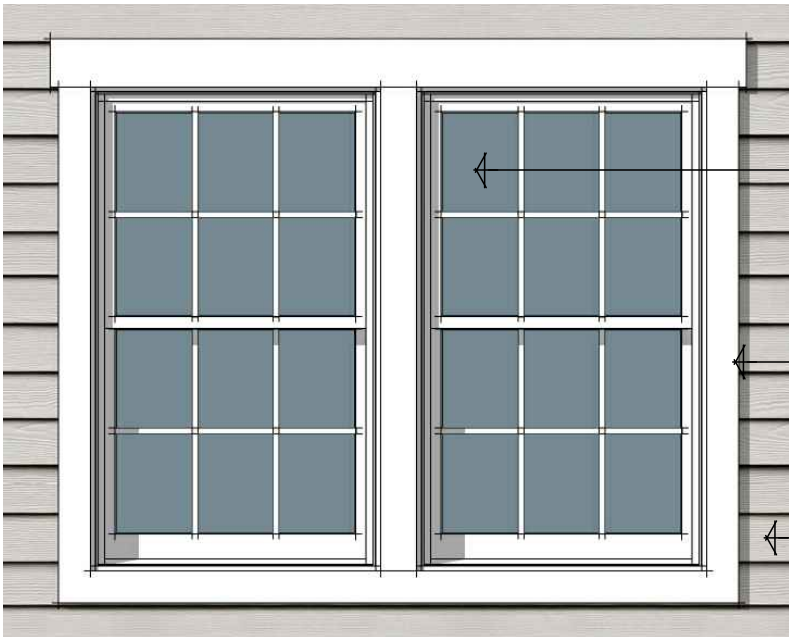
Residential

Note:

- Due to Rendering Styles Shown, Some Line work may Show Items Depicted as Varying in Color. For Clarity, Enlarged Details have Been Provided to Show More Precise Details and Scale

NOTE:

THESE DRAWINGS ARE NOT FOR CONSTRUCTION. THESE PLANS ARE FOR SITE PLAN REVIEW AND ARE SUBJECT TO CHANGE. THE BUILDER RESERVES THE RIGHT TO MAKE CHANGES AS NEEDED TO THE FLOOR PLANS, ELEVATIONS AND BUILDING MATERIALS, INCLUDING ROOM SIZES AND LOCATION OF ROOMS.



Typical Exterior Details

Scale: $\frac{1}{2}$ " = 1'-0"

Residential

Notes:

- Colors and tones will vary based on available color packages offered, market conditions, availability of materials and color gradations in materials.
- All Landscaping shown is for presentation purposes. Refer to current Civil Engineers Drawings for Landscape Plans

Exterior Lighting Specification

GENERATION LIGHTING

84158DEN3-12: One Light Outdoor Wall Lantern



Collection: Jamestowne

Dark Sky One Light LED Outdoor Wall Lantern Finished in Black Solid Brass with Etched White Tiffany Glass and White Aluminum Panels.

Featured in the decorative Jamestowne collection

1 A19 Medium 9.3 watt light bulb

Fixture is supplied with 1 light bulb

Etched white tiffany glass panels and white aluminum panels

ENERGY STAR® Qualified

UPC #:785652046087

Finish: Black (12)

Dimensions:

Width: 7"
Height: 17"
Weight: 4.27 lbs.

Bulbs:

1 - LED Medium A19 9w Max. 120v - included

Features:

- ENERGY STAR® Qualified
- Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- LED Bulbs are an efficient, versatile and durable light source that deliver exceptional performance.
- Meets Title 24 energy efficiency standards
- Title 24 compliant when used with included Joint Appendix (JAB) approved lamp.

Material List:

1 Body - Aluminum - Undefined
4 Reflector - Aluminum - Undefined

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

English (HC-231)
French (F-009)

Note:

The Exterior Lighting Spec Shown is a Typical Selection to be Used and is Subject to Change with Market Conditions and Availability. All Exterior Lighting to be in Conformance with the SmartCode.

Area Calculations

Model/ Unit	Square Footages
Active Adult Single Family, Apollo Model	First Floor: 1,920 sq ft Second Floor: 532 sq ft Total Living: 2,452 sq ft
	2-Car Garage: 430 sq ft
Active Adult Single Family, Belmont Model	First Floor: 2,138 sq ft Second Floor: 775 sq ft Total Living: 2,913 sq ft
	2-Car Garage: 407 sq ft
Active Adult Single Family, Capri Model	First Floor: 1,853 sq ft Second Floor: 878 sq ft Total Living: 2,731 sq ft
	2-Car Garage: 535 sq ft
Active Adult Single Family, Davenport Model	First Floor: 1,838 sq ft
	2-Car Garage: 411 sq ft
Active Adult Single Family, Seville Model	First Floor: 1,925 sq ft Second Floor: 585 sq ft Total Living: 2,510 sq ft
	2-Car Garage: 407 sq ft
Duplex, Astor Model	First Floor: 1,554 sq ft Second Floor: 554 sq ft Total Living: 2,108 sq ft
	1-Car Garage: 282 sq ft
Duplex, Beacon Model	First Floor: 1,573 sq ft Second Floor: 538 sq ft Total Living: 2,111 sq ft
	1-Car Garage: 279 sq ft
10-Plex Condo Building	Unit A Total Living: 1,527 sq ft
	Balcony/ Mech.: 102 sq ft
	Unit B Total Living: 1,631 sq ft
	Balcony/ Mech.: 105 sq ft
Affordable Housing	Please see sheets for Square Footage
Clubhouse	Total Area: 10,137 sq ft
Pool Cabana	Total Area: 428 sq ft

Index of Drawings

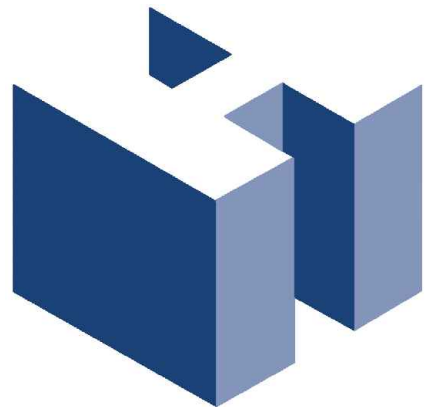
Sht #	Rev #	Description
CS-1		Cover Sheet
SK-1		Active Adult Single Family, Apollo Model
SK-2		Apollo Model - Elevations
		Apollo Model - Floor Plans
		Active Adult Single Family, Belmont Model
SK-3		Belmont Model - Front Elevations
SK-3.1		Belmont Model - Sides and Rear Elevations
SK-4		Belmont Model - First Floor Plans
SK-4.1		Belmont Model - Second Floor Plans
		Active Adult Single Family, Capri Model
SK-5		Capri Model - Elevations
SK-6		Capri Model - First Floor Plans
SK-6.1		Capri Model - Second Floor Plans
		Active Adult Single Family, Davenport Model
SK-7		Davenport Model - Elevations
SK-8		Davenport Model - First Floor Plans
		Active Adult Single Family, Seville Model
SK-9		Seville Model - Elevations
SK-10		Seville Model - First Floor Plans
SK-10.1		Seville Model - Second Floor Plan
		Duplex, Astor-Beacon Model
SK-11		Astor-Beacon Model - Elevations
SK-12		Astor-Beacon Model - First Floor Plans
SK-12.1		Astor-Beacon Model - Second Floor Plans
		10-Plex Condominium Building
SK-13		10-Plex Condo Building- Elevations
SK-13.1		10-Plex Condo Building- Elevations
SK-14		10-Plex Condo Building- OA First Floor Plan
SK-14.1		10-Plex Condo Building- OA Second & Third Floor Plan
SK-15		10-Plex Condo Building- Enlarged Unit Plans
		Supportive Housing
SK-16		Affordable Housing - 10-Unit Building Elevations
SK-16.1		Affordable Housing - 10-Unit Overall Bldg Floor Plans
SK-17		Affordable Housing - 12-Unit Building Elevations
SK-17.1		Affordable Housing - 12-Unit Overall Bldg Floor Plans
SK-18		Affordable Housing - Enlarged Floor Plans
SK-18.1		Affordable Housing - Enlarged Floor Plans
		Clubhouse
SK-19		Clubhouse- Elevations
SK-19.1		Clubhouse- Elevations
SK-20		Clubhouse- Floor Plan
		Pool Cabana
SK-21		Pool Cabana- Floor Plan & Elevations

CLIENT:

LENNAR®

Venue at Deer Valley

Hopewell Township
Mercer County, New Jersey



HOLLIDAY ARCHITECTS, Inc.

JACKSON COMMONS SUITE A4
30 JACKSON ROAD
MEDFORD, NJ 08055
609.953.5373
FAX: 609.953.5737

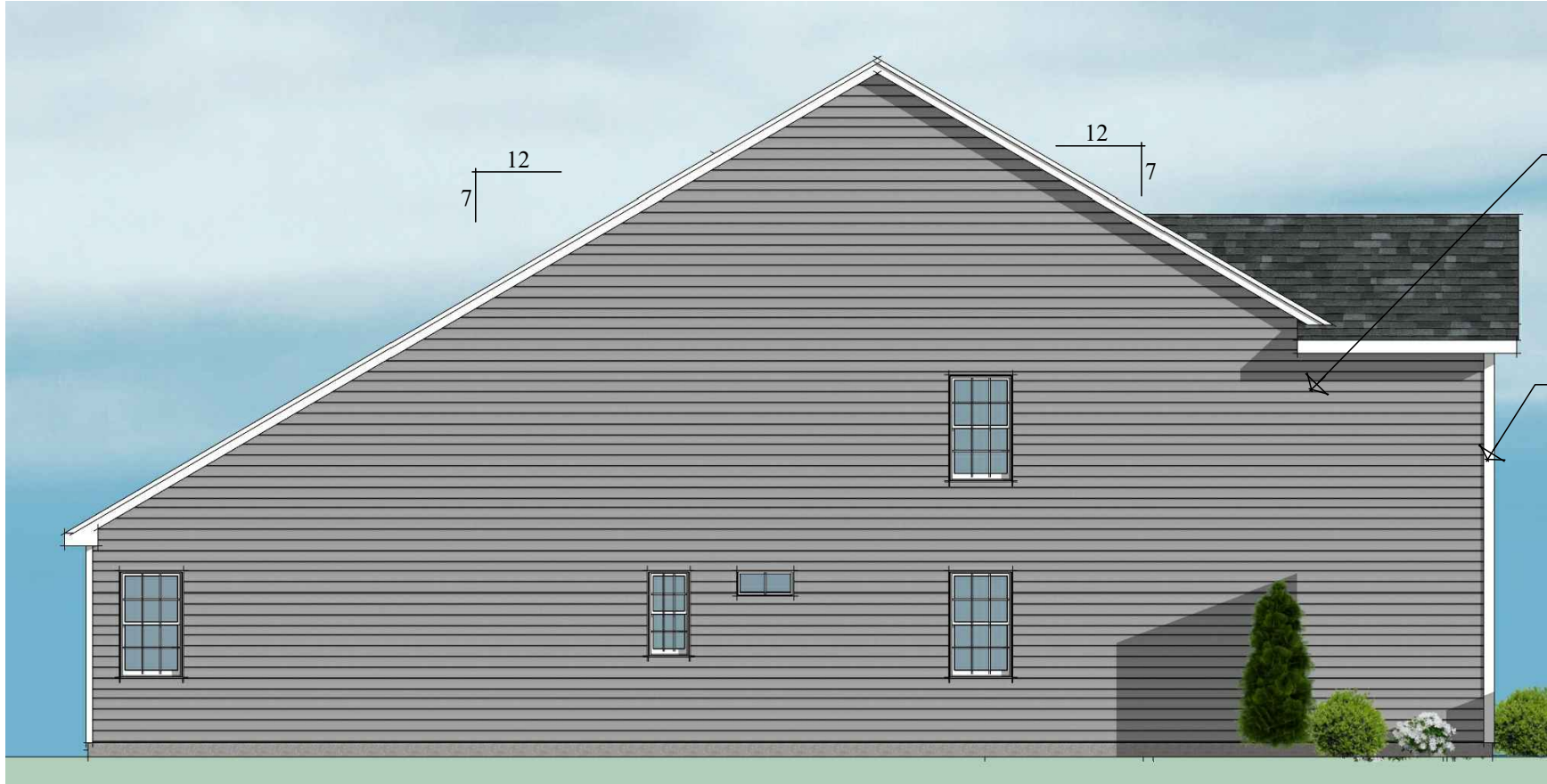
3212 Brigantine Boulevard
BRIGANTINE, NJ 08203
609.953.5373
FAX: 609.953.5737

REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	Cover Sheet	
2	1-10-25	Client Revisions		
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024

SHEET NO.

CS-1

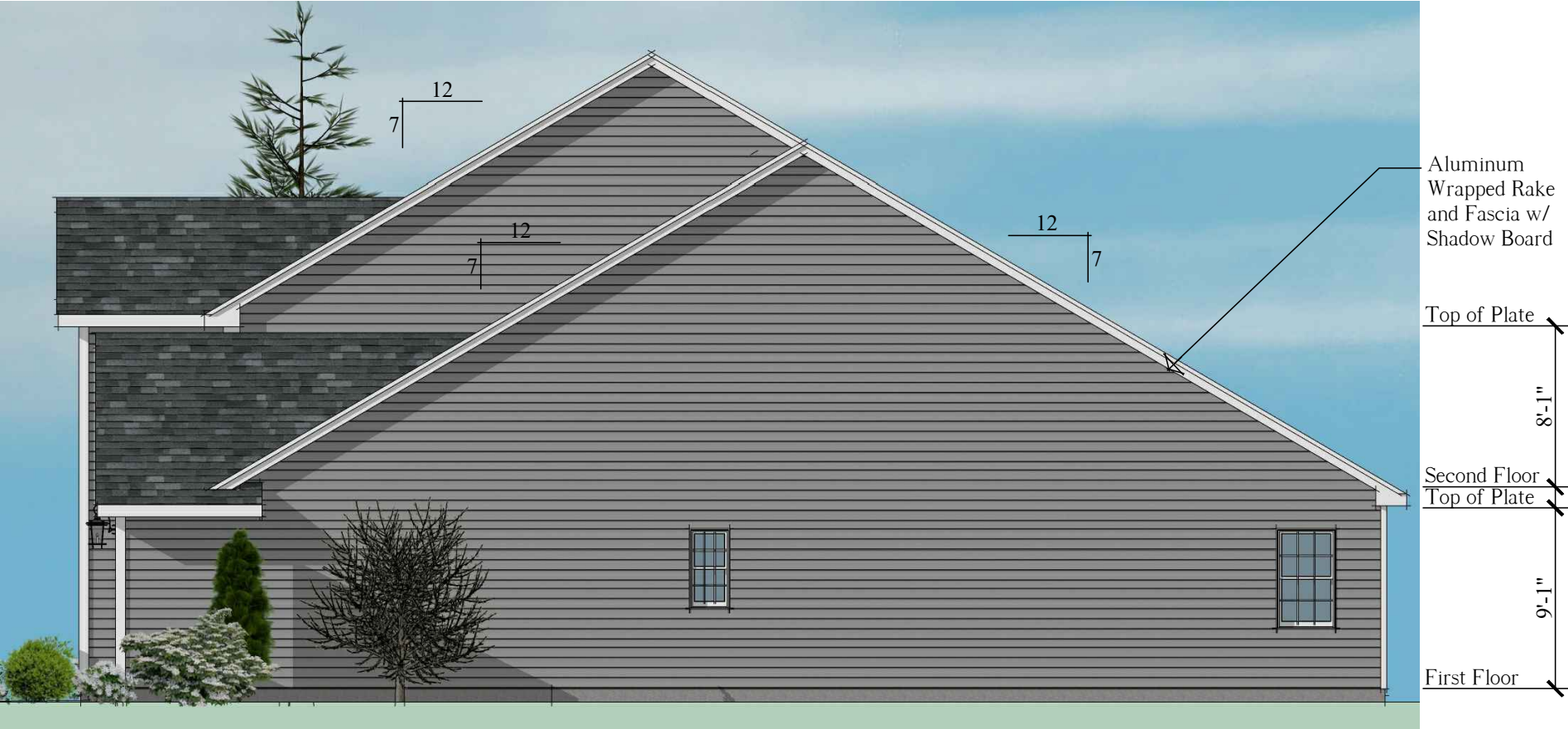
- Notes:**
1. All Building Elevations and Plans are a Depiction of a Typical Configuration. Refer to Current Site Plans Provided by Engineer of Record for all Final Grading.
 2. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity



Left Elevation
Scale: 1/8" = 1'-0" (Elevation A Shown)



Rear Elevation
Scale: 1/8" = 1'-0" (Elevation A Shown)



Right Elevation
Scale: 1/8" = 1'-0" (Elevation A Shown)



Elevation E
Scale: 1/4" = 1'-0"



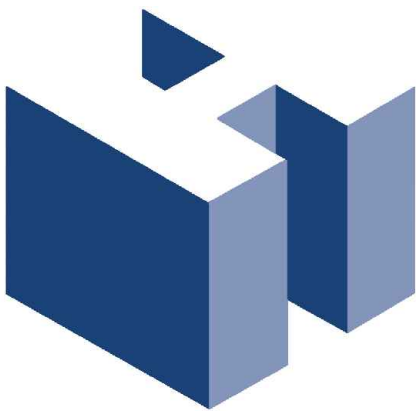
Elevation A
Scale: 1/4" = 1'-0"

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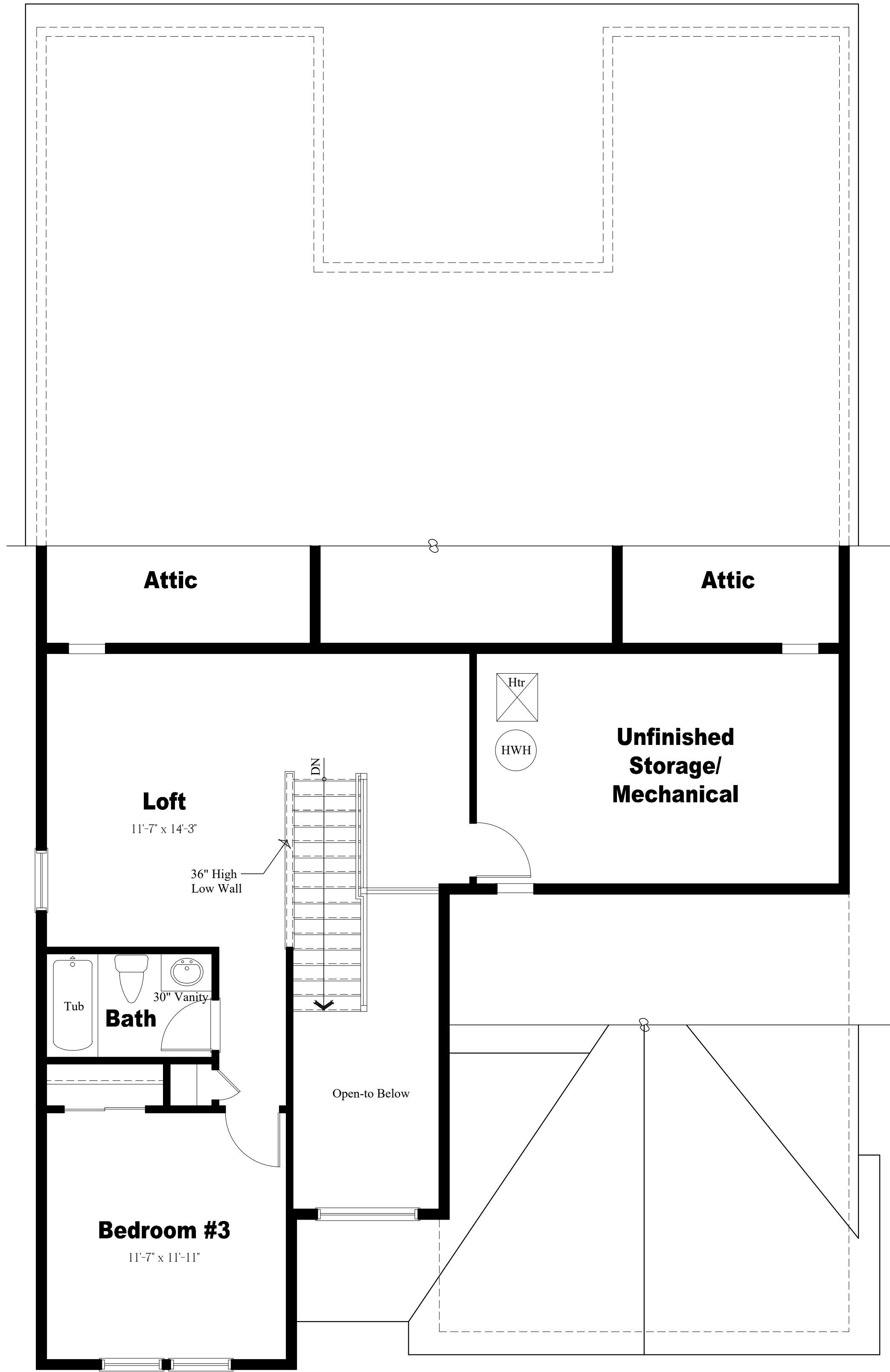
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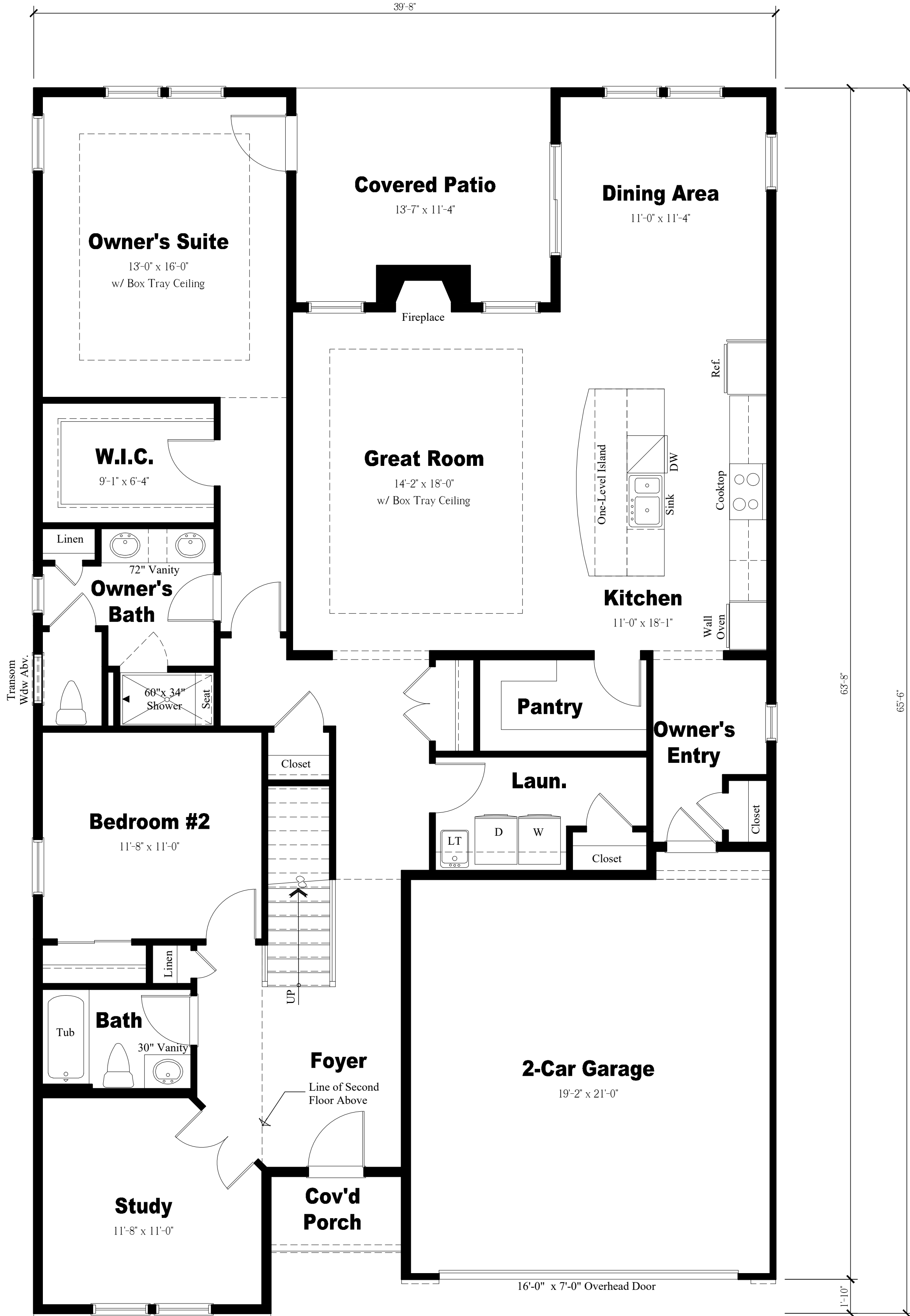


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REVISIONS:			SHEET TITLE:		SHEET NO. SK-1
			Active Adult Single Family Apollo Elevations		
			SCALE:	AS NOTED	
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	



Elevation A (Elevation E Similar)
Second Floor Plan
Scale: 1/4" = 1'-0"



Elevation A (Elevation E Similar)
First Floor Plan
Scale: 1/4" = 1'-0"

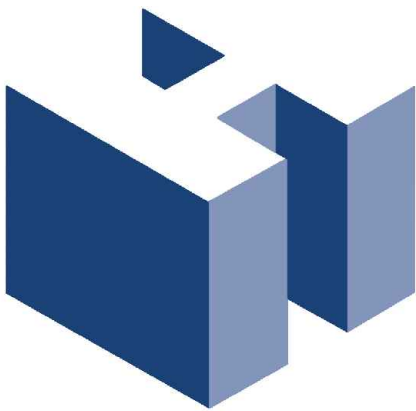
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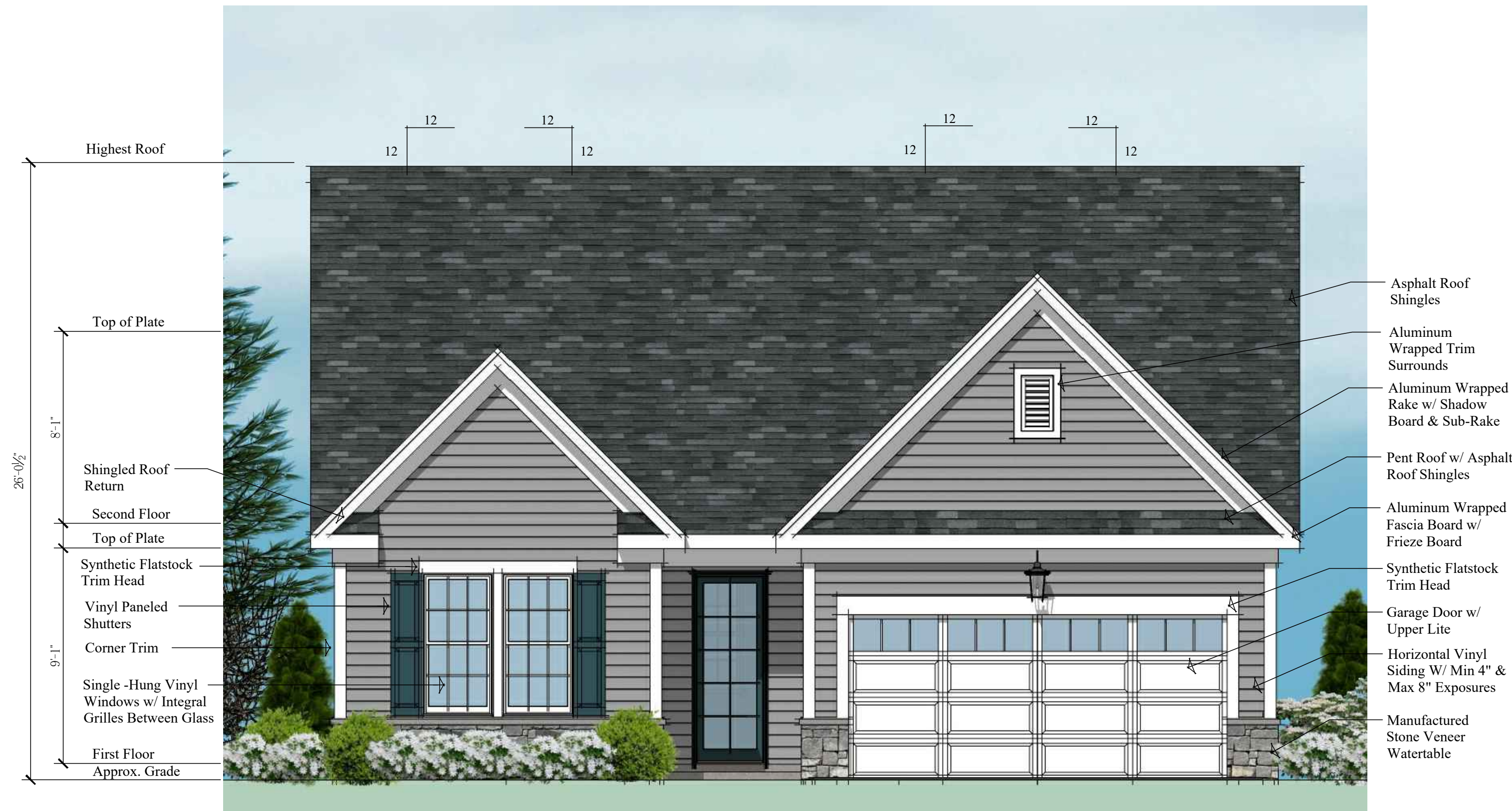
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			Active Adult Single Family		
			Apollo Floor Plans		
			SCALE:	AS NOTED	
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	



Elevation C
Scale: 1/4" = 1'-0"



Elevation B
Scale: 1/4" = 1'-0"



Elevation A
Scale: 1/4" = 1'-0"

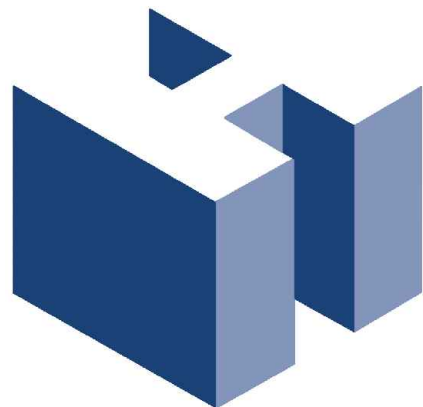
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REVISIONS:			SHEET TITLE:		
			Active Adult Single Family		
			Belmont Front Elevations		
			SCALE:	AS NOTED	SHEET NO.
			PROJ. NO.:	LEN-24022	SK-3
			DATE:	March 14, 2024	



Left Elevation

Scale: 1/8" = 1'-0" (Elevation A Shown)



Rear Elevation

Scale: 1/8" = 1'-0" (Elevation A Shown)



Right Elevation

Scale: 1/8" = 1'-0" (Elevation A Shown)

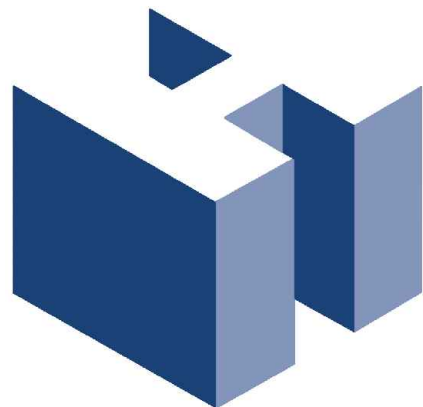
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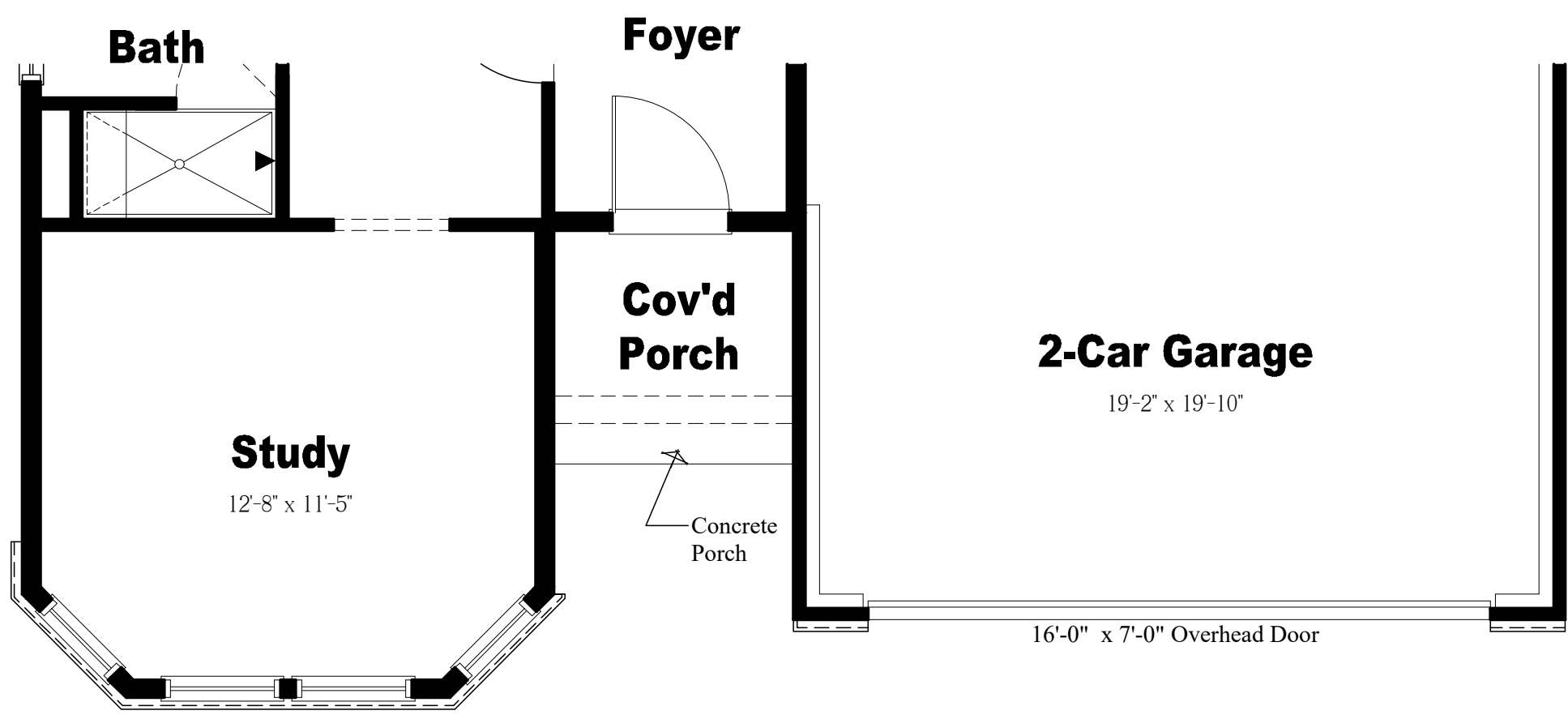
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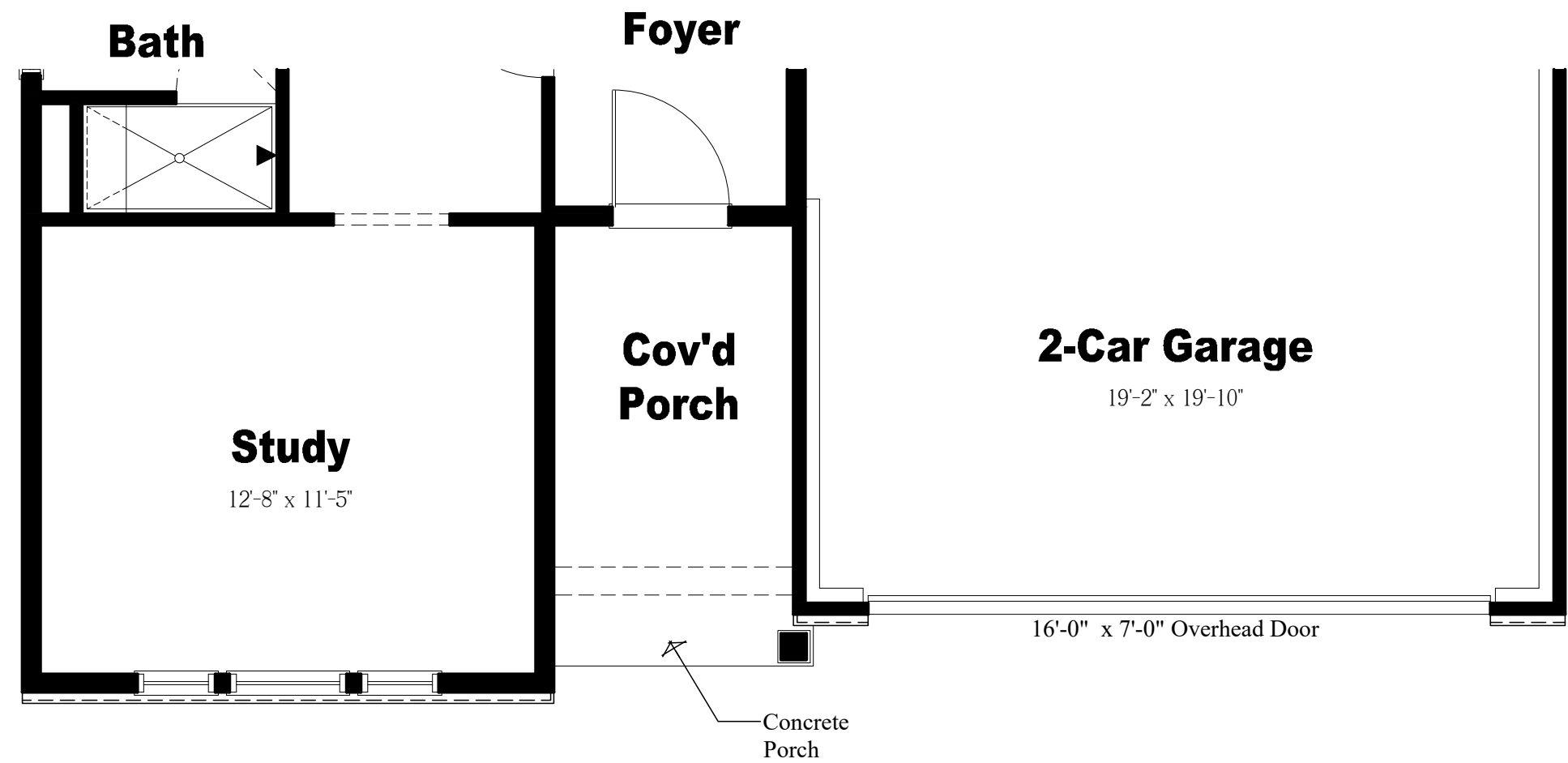
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REVISIONS:			SHEET TITLE:		SHEET NO.
			Active Adult Single Family Belmont Elevations		
			SCALE:	AS NOTED	SK-3.1
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	



Elevation C
Partial First Floor Plan
Scale: 1/4" = 1'-0"



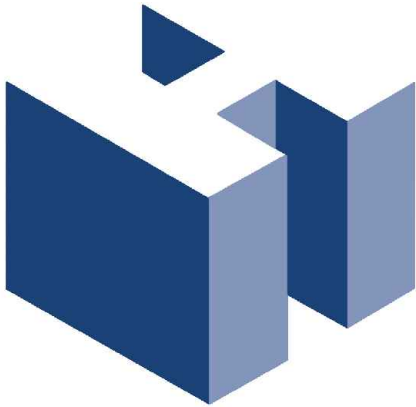
Elevation B
Partial First Floor Plan
Scale: 1/4" = 1'-0"

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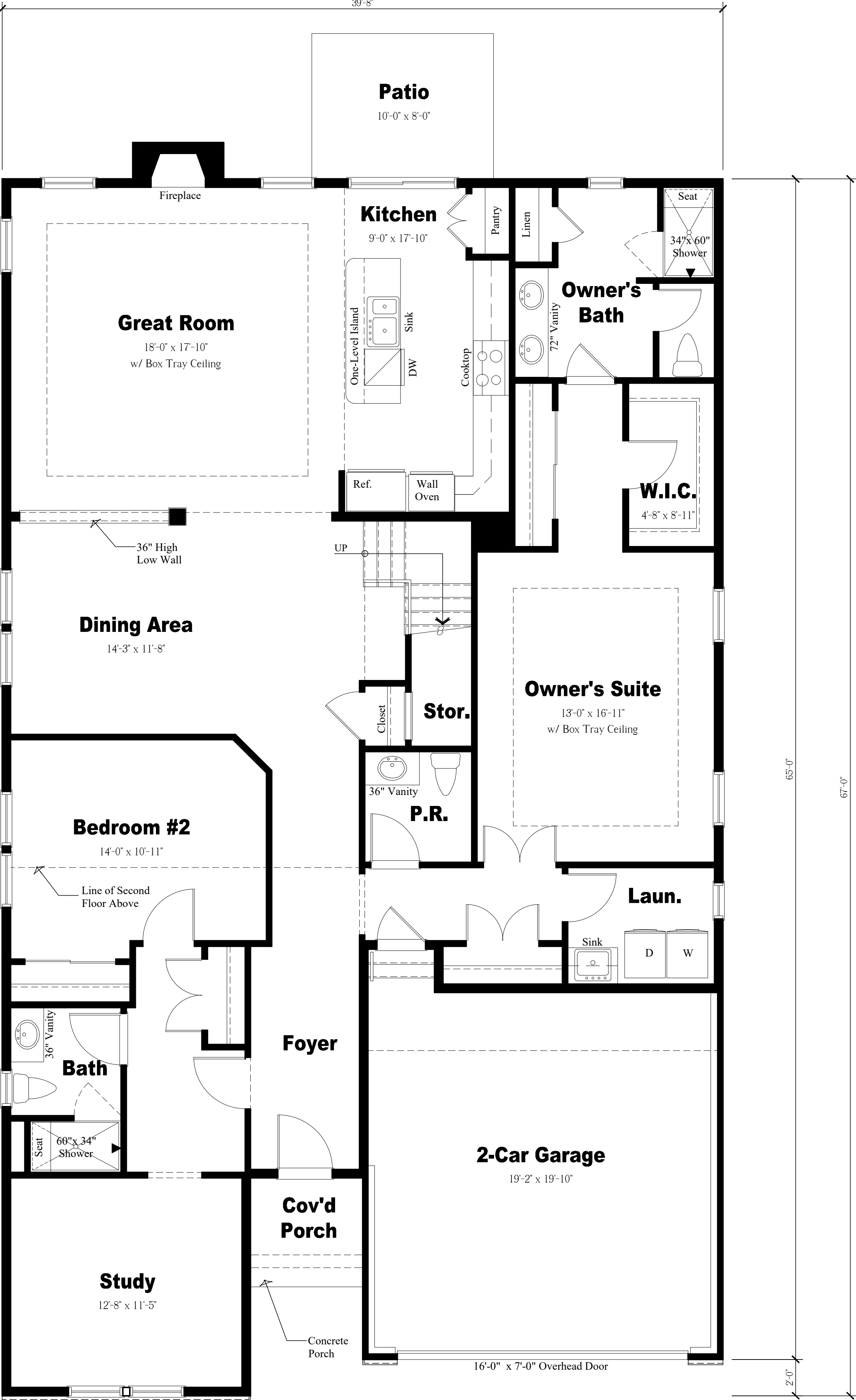
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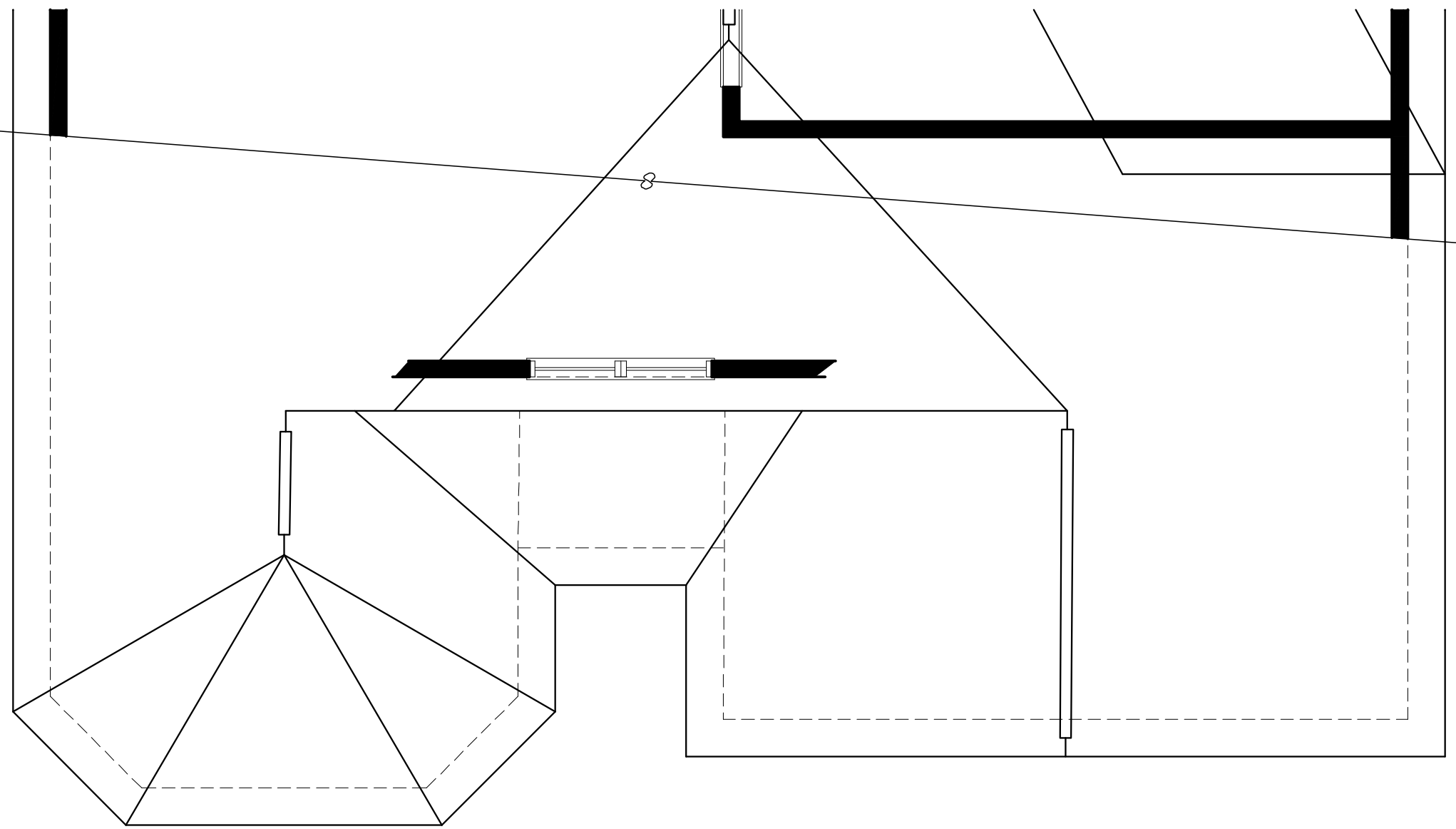
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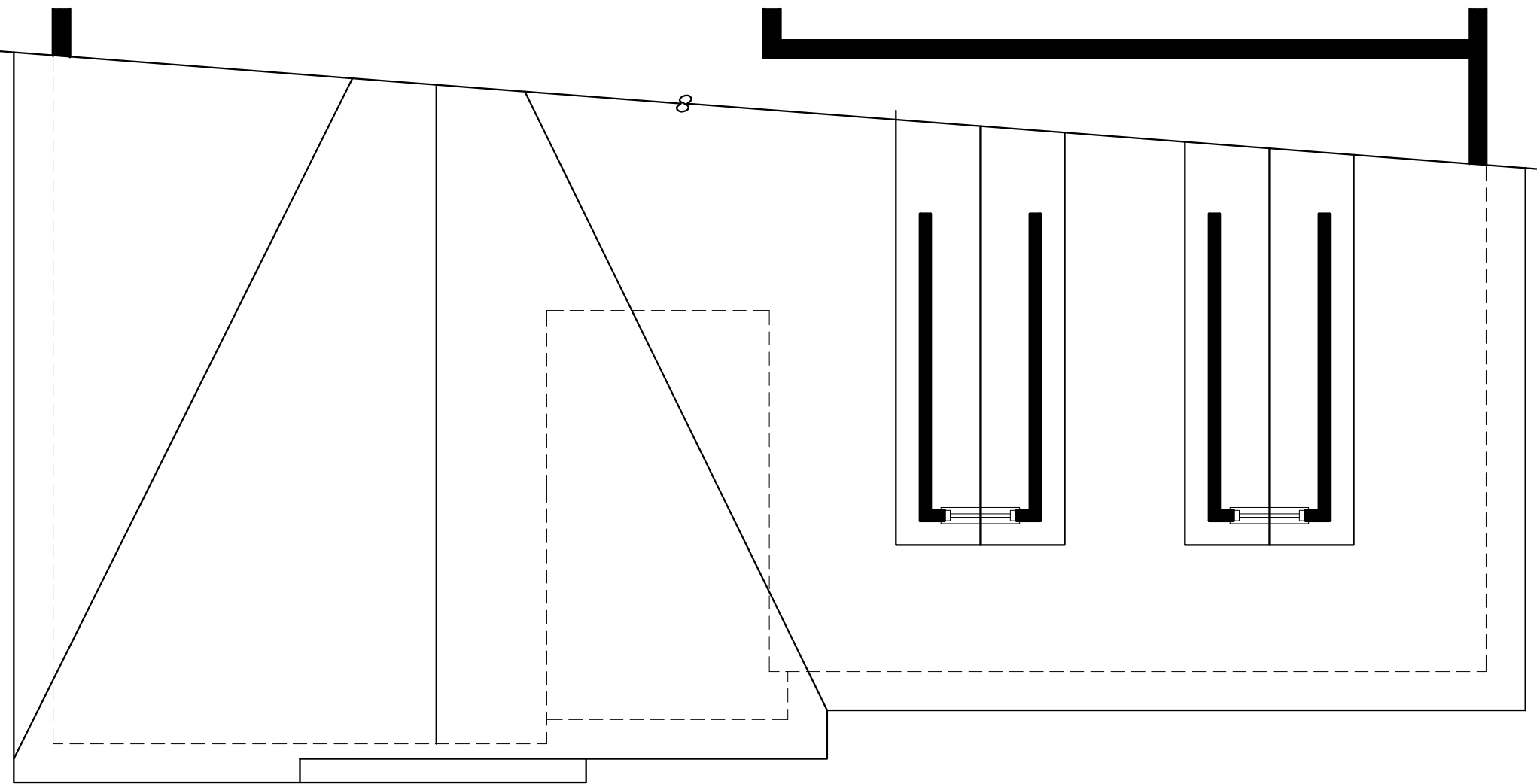
Elevation A
First Floor Plan
Scale: 1/4" = 1'-0"



REVISIONS:			SHEET TITLE:		
			Active Adult Single Family Belmont Floor Plans		
			SCALE:	AS NOTED	SHEET NO.
			PROJ. NO.:	LEN-24022	SK-4
			DATE:	March 14, 2024	



Elevation C
Partial Second Floor Plan
Scale: 1/4" = 1'-0"



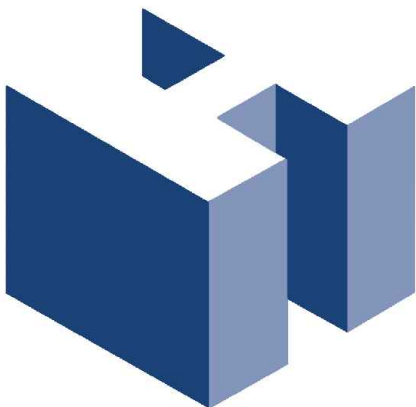
Elevation B
Partial Second Floor Plan
Scale: 1/4" = 1'-0"

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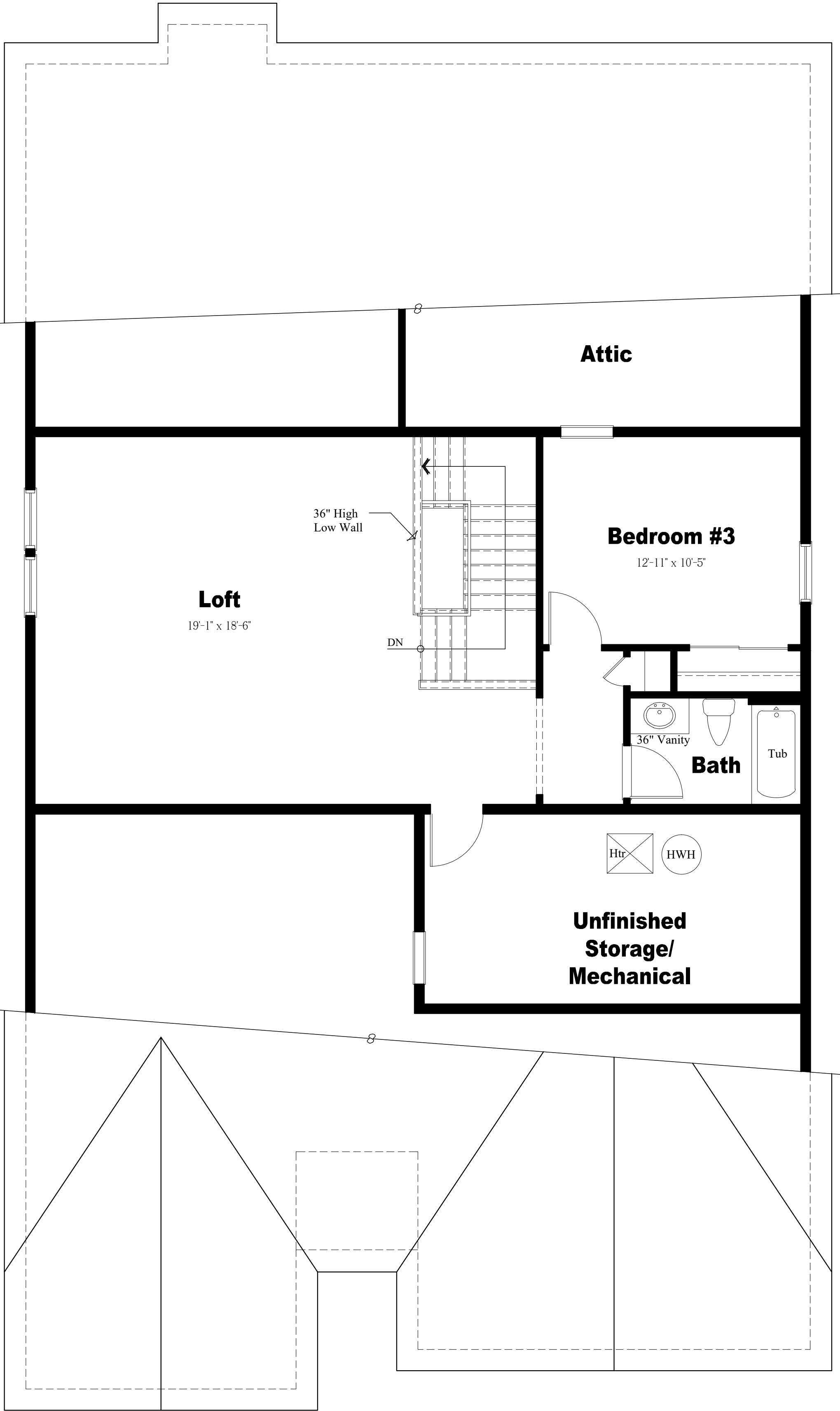
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Elevation A
Second Floor Plan
Scale: 1/4" = 1'-0"



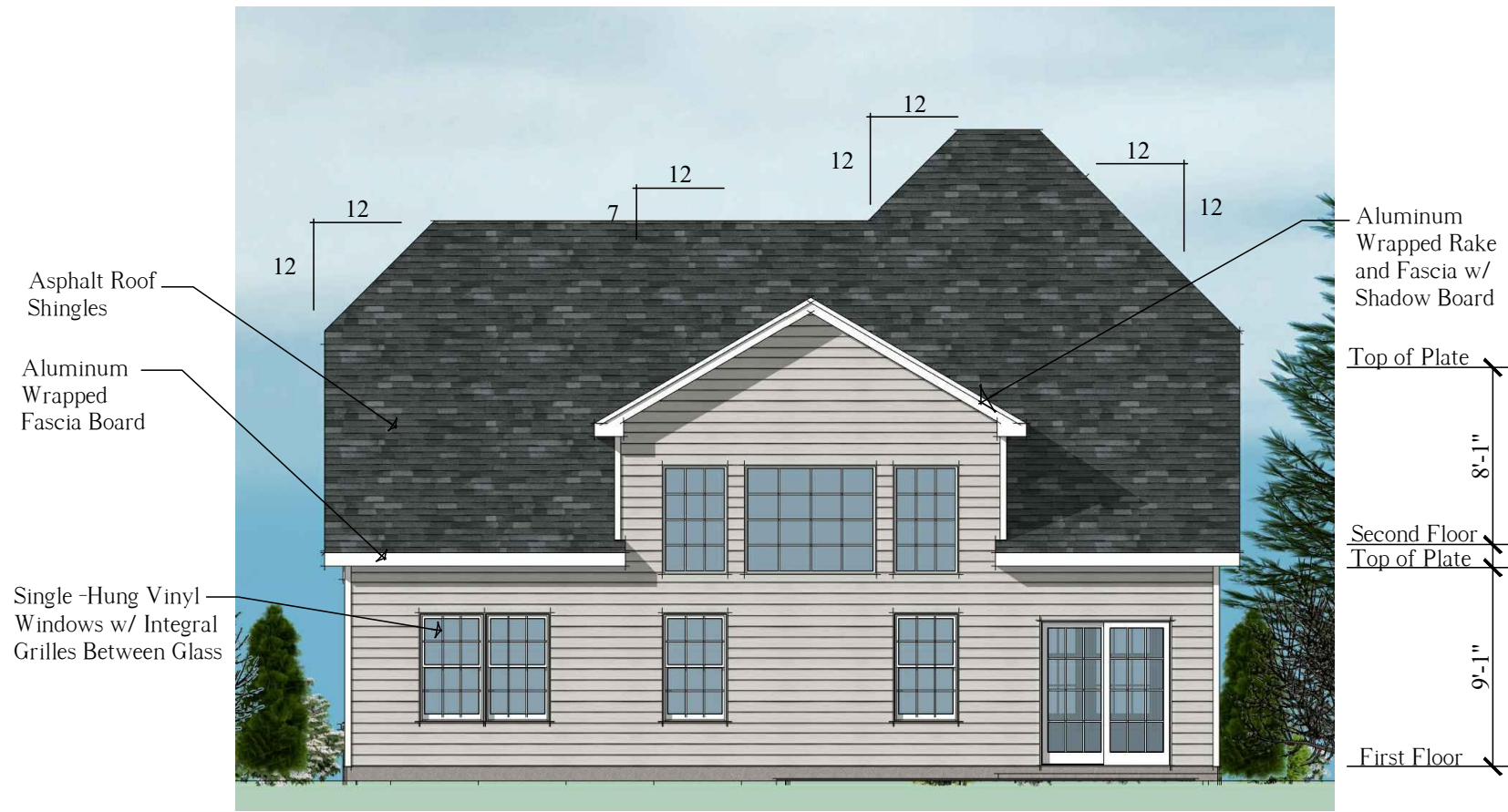
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			Active Adult Single Family Belmont Floor Plans	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SHEET NO. SK-4.1	

- Notes:**
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Left Elevation

Scale: 1/8"= 1'-0" (Elevation C Shown)



Rear Elevation

Scale: 1/8"= 1'-0" (Elevation C Shown)



Right Elevation

Scale: 1/8"= 1'-0" (Elevation C Shown)



Elevation D

Scale: 1/4"= 1'-0"



Elevation C

Scale: 1/4"= 1'-0"

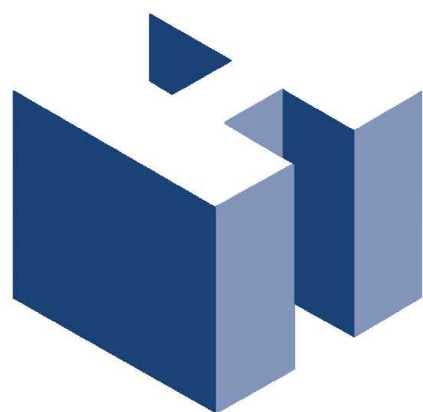
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REVISIONS:		SHEET TITLE:	
		Active Adult Single Family Capri Elevations	
		SCALE:	AS NOTED
		PROJ. NO.:	LEN-24022
		DATE:	March 14, 2024
		SHEET NO. SK-5	

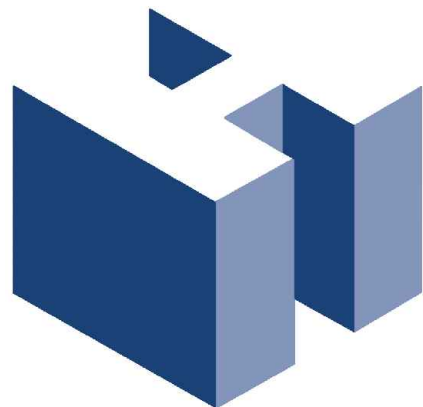
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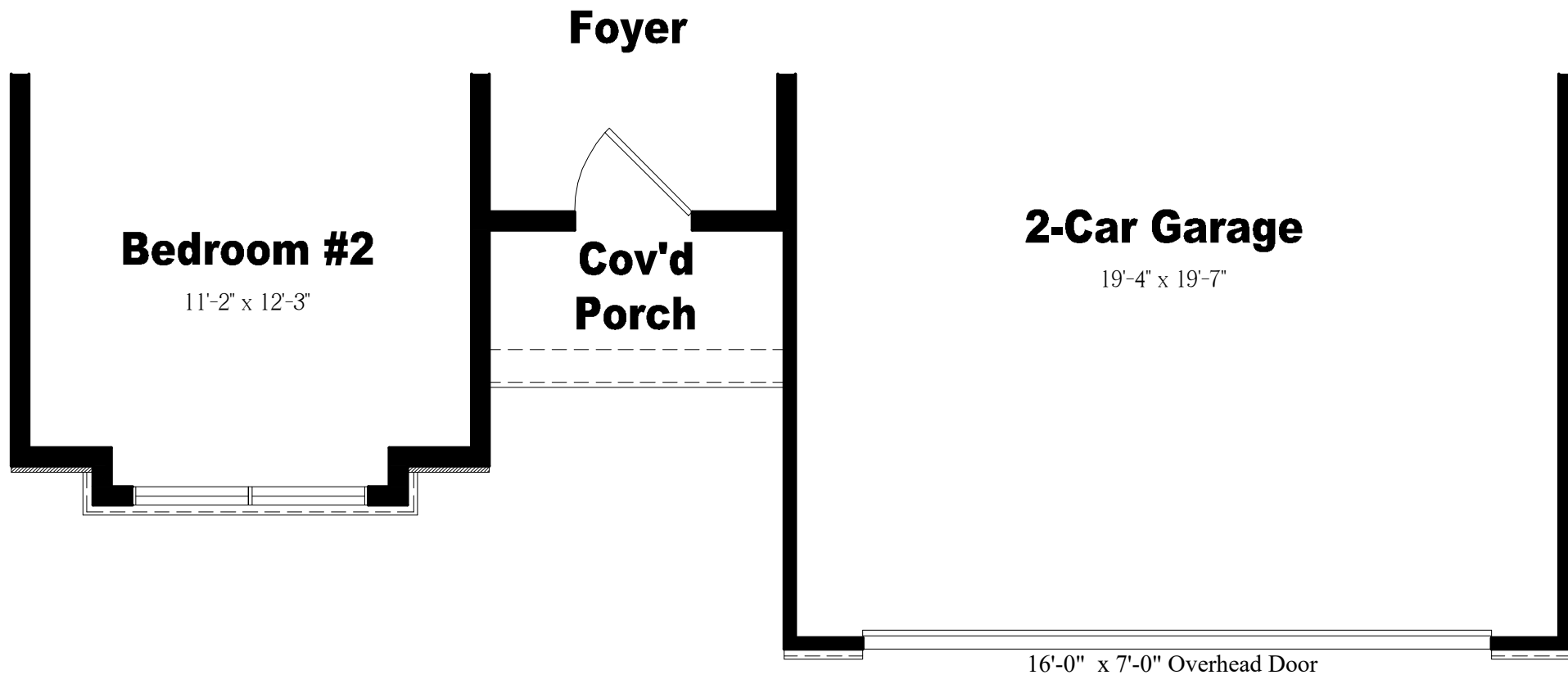


REVISIONS:			SHEET TITLE:		SHEET NO.
			Active Adult Single Family Capri Floor Plans		
			SCALE:	AS NOTED	SK-6
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	

Elevation D

Partial First Floor Plan

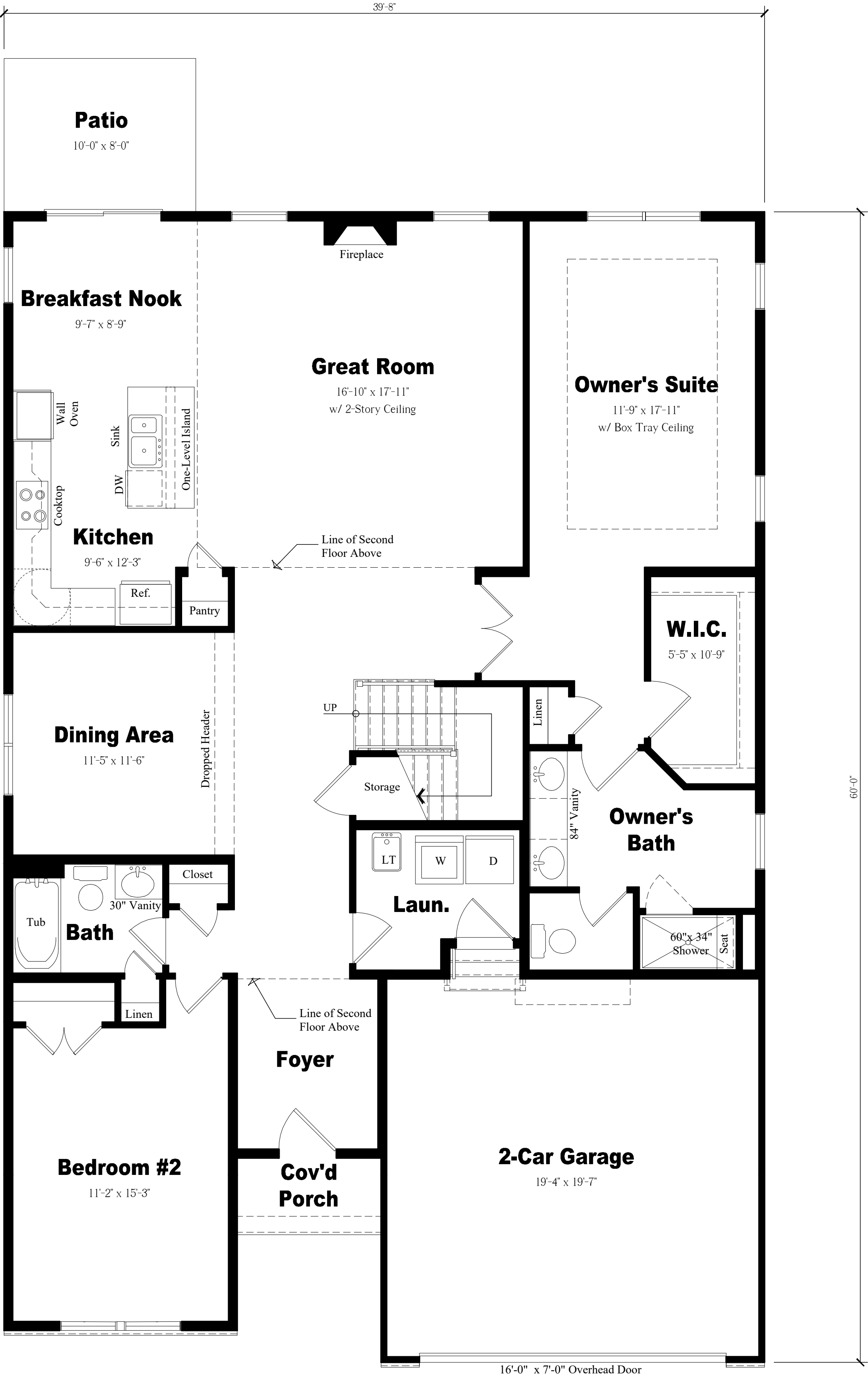
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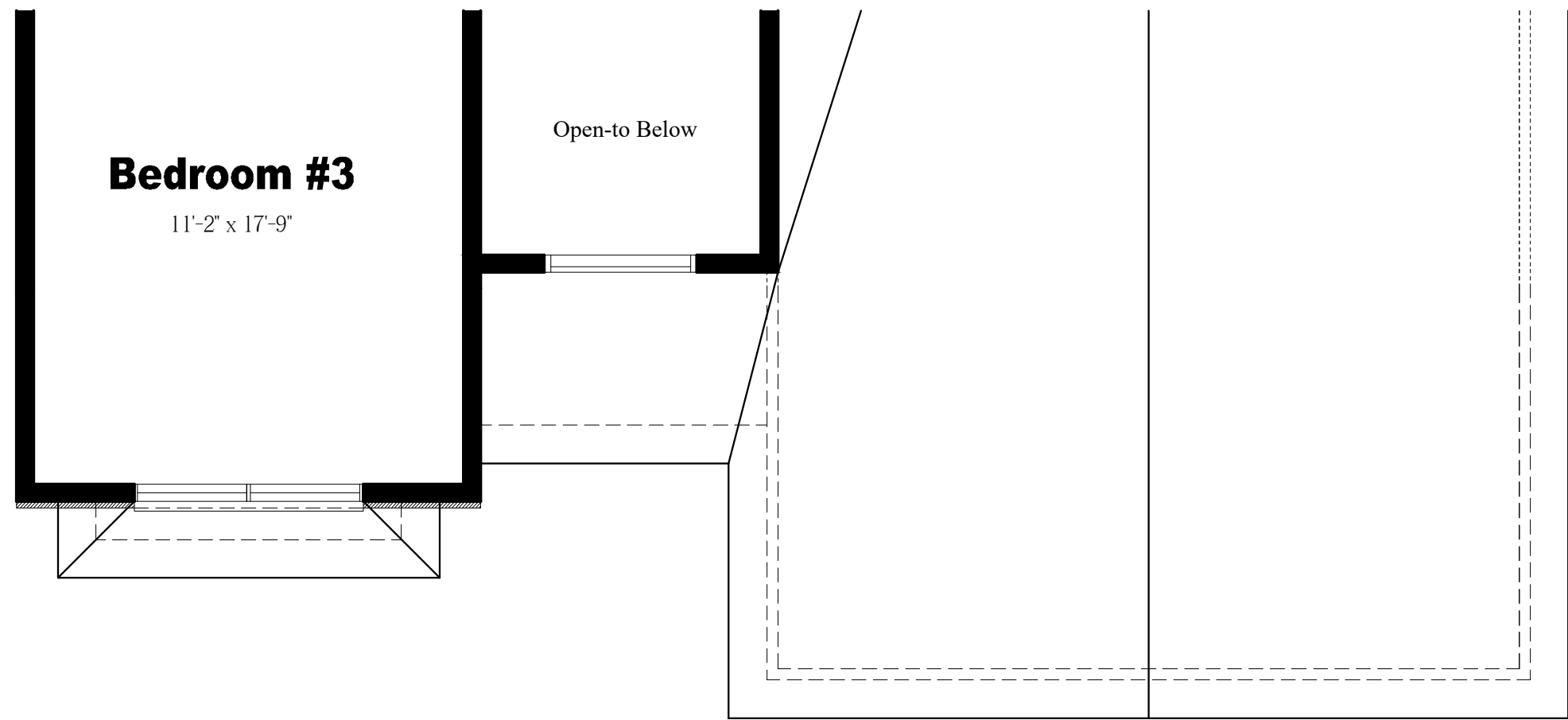
Elevation C

First Floor Plan

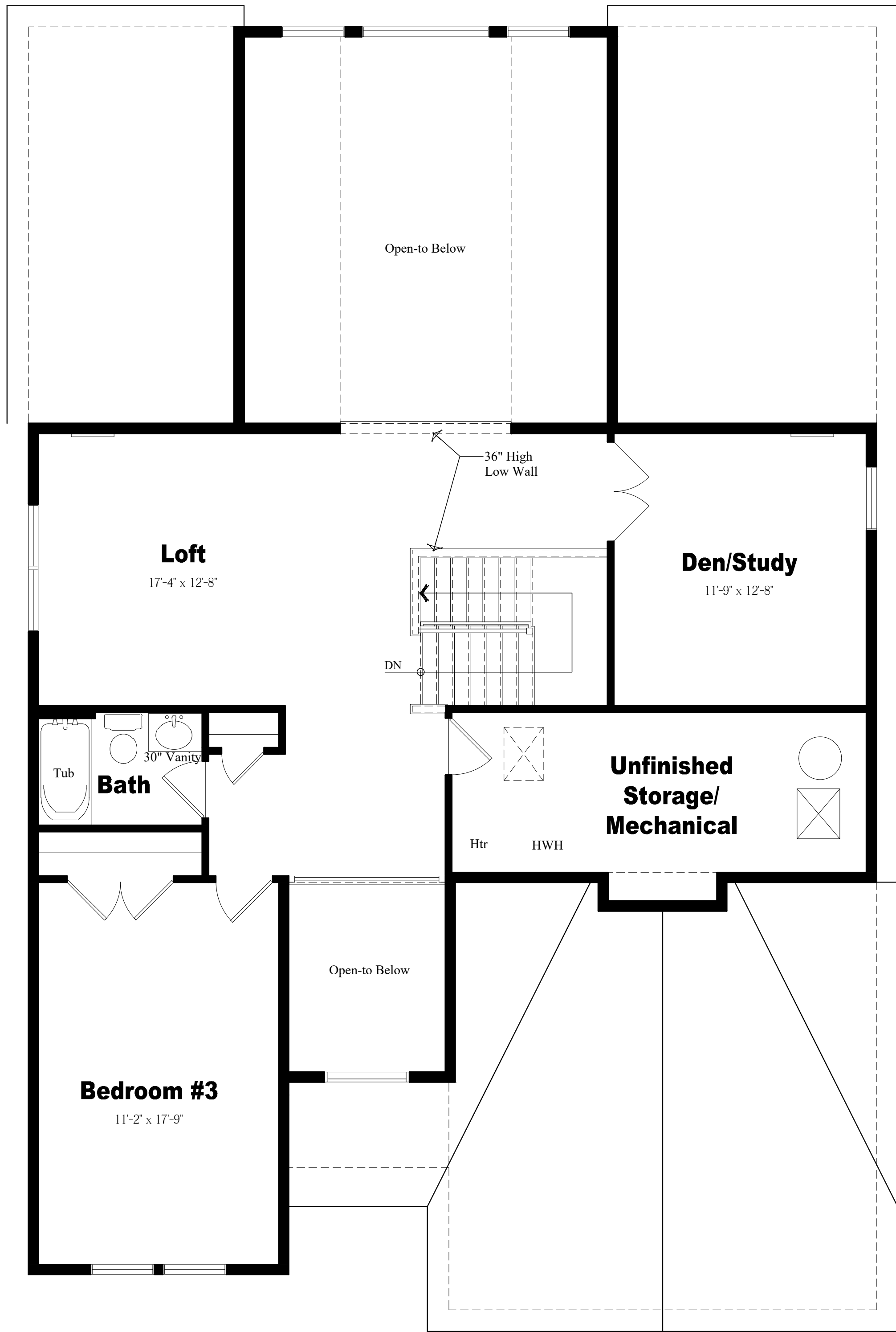
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Elevation D
Partial Second Floor Plan
Scale: ¼" = 1'-0"



Elevation C
Second Floor Plan
Scale: ¼" = 1'-0"



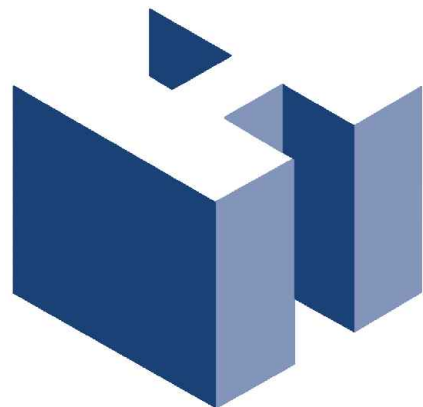
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REVISIONS:			SHEET TITLE:	
			Active Adult Single Family	
			Capri Floor Plans	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SHEET NO.	
			SK-6.1	

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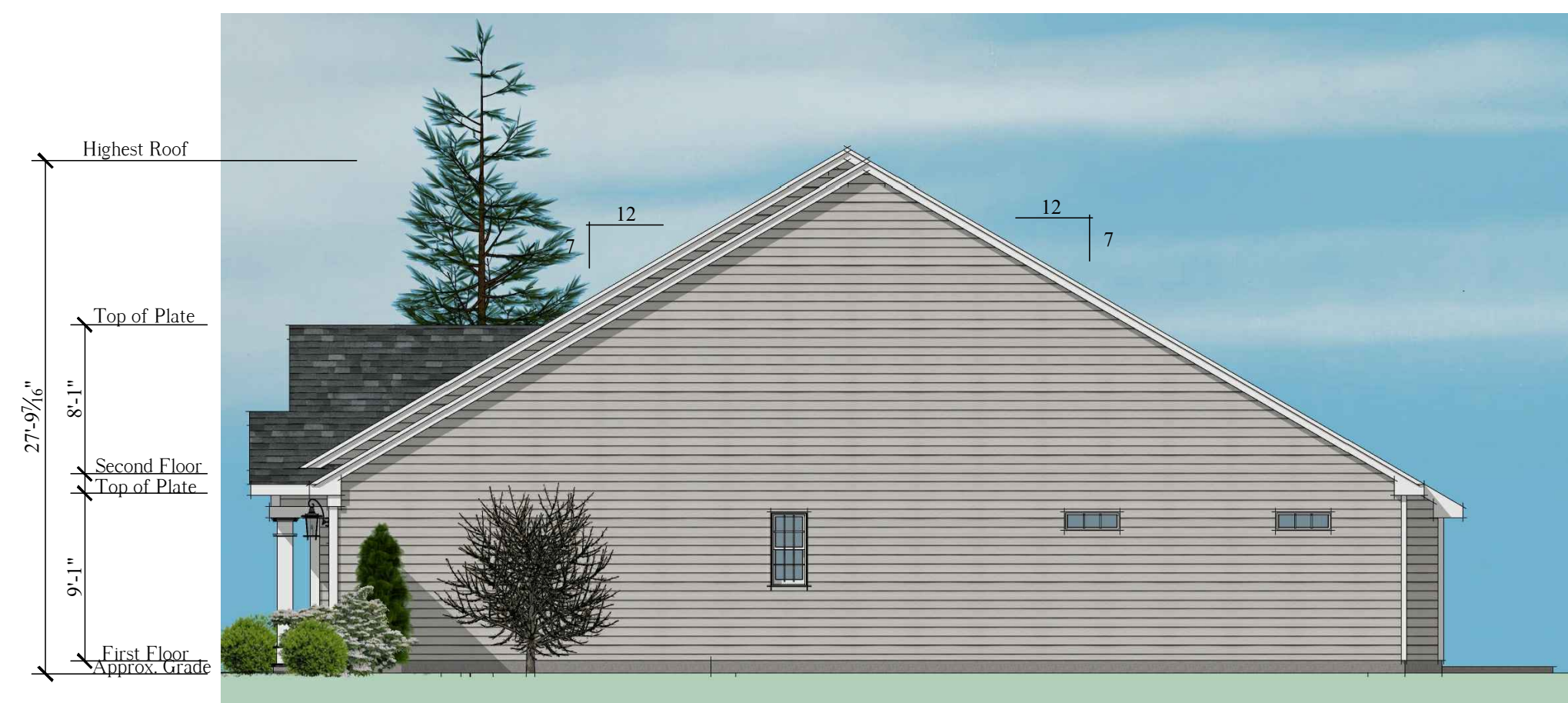
Left Elevation

Scale: 1/8" = 1'-0" (Elevation A Shown)



Rear Elevation

Scale: 1/8" = 1'-0" (Elevation A Shown)



Right Elevation

Scale: 1/8" = 1'-0" (Elevation A Shown)



Elevation B

Scale: 1/4" = 1'-0"



Elevation A

Scale: 1/4" = 1'-0"

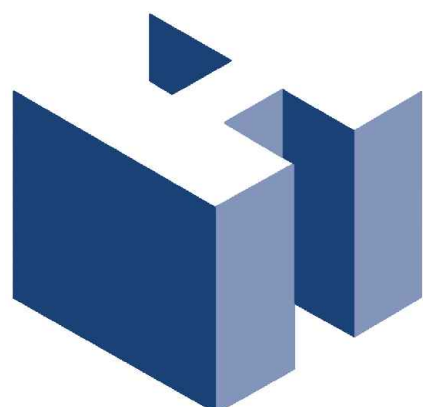
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Venue at Deer Valley

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Mercer County, New Jersey



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FAX: 609.953.5737

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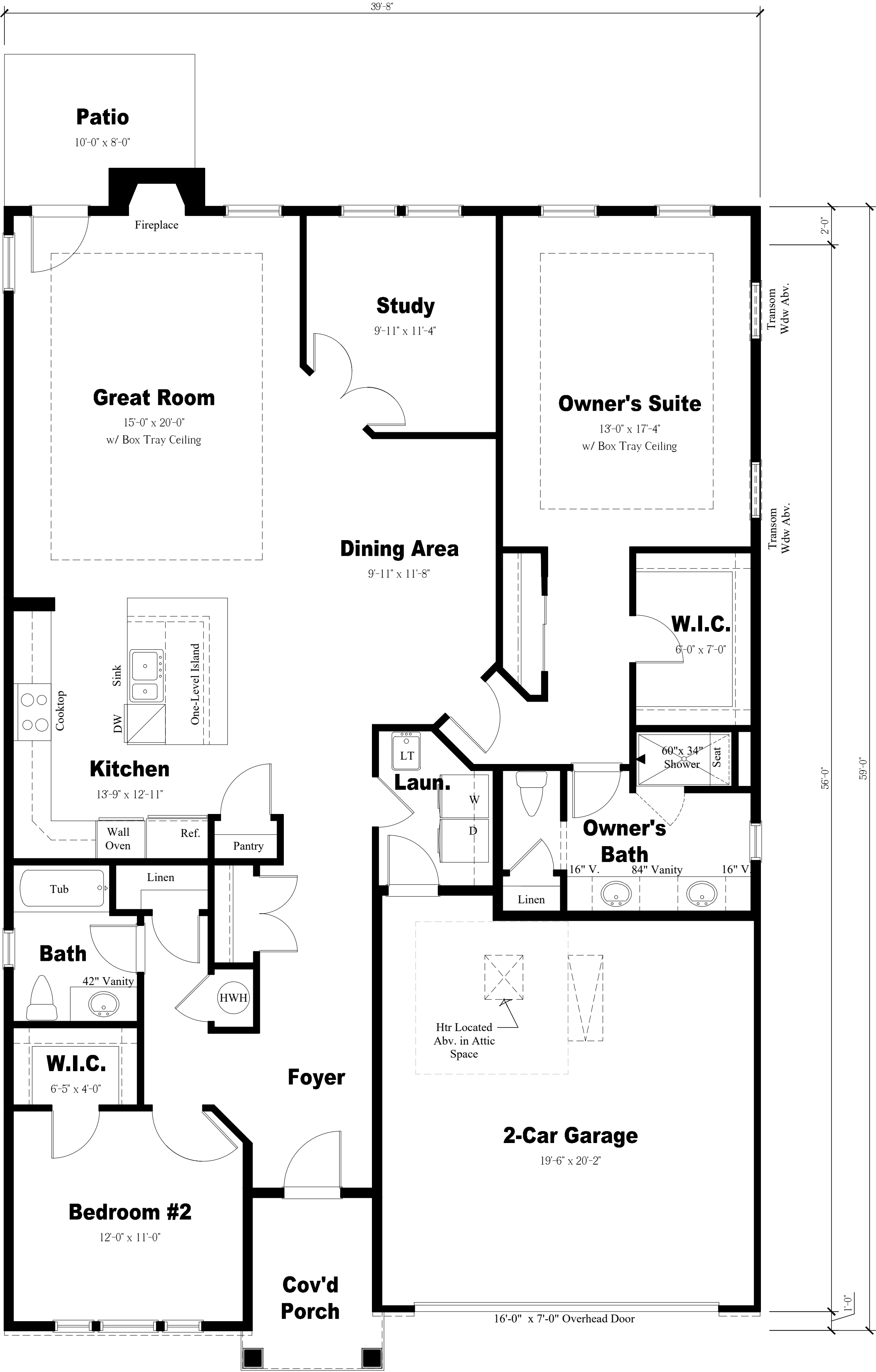
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		Active Adult Single Family Davenport Front Elevations	
		SCALE:	AS NOTED
		PROJ. NO.:	LEN-24022
		DATE:	March 14, 2024
		SHEET NO.	SK-7



Elevation B

Partial First Floor Plan

Scale: 1/4" = 1'-0"



Elevation A

First Floor Plan

Scale: 1/4" = 1'-0"

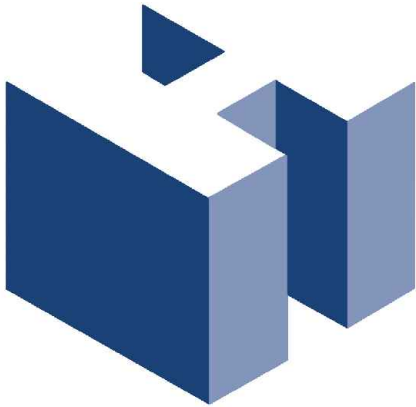
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REVISIONS:			SHEET TITLE:		SHEET NO. SK-8
			Active Adult Single Family Davenport Floor Plans		
			SCALE:	AS NOTED	
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	

- Notes:**
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 2. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity



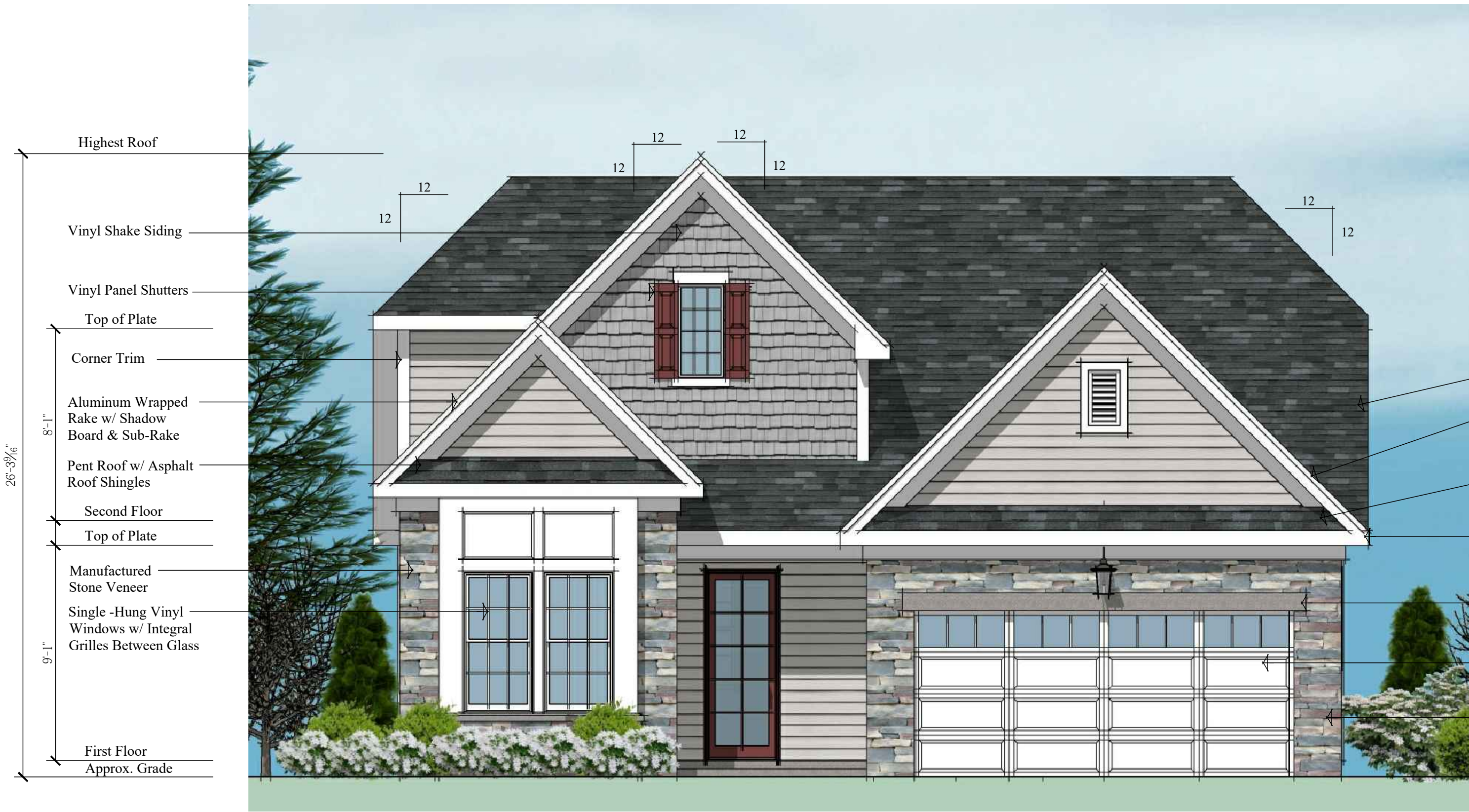
Left Elevation
Scale: 1/8" = 1'-0" (Elevation A Shown)



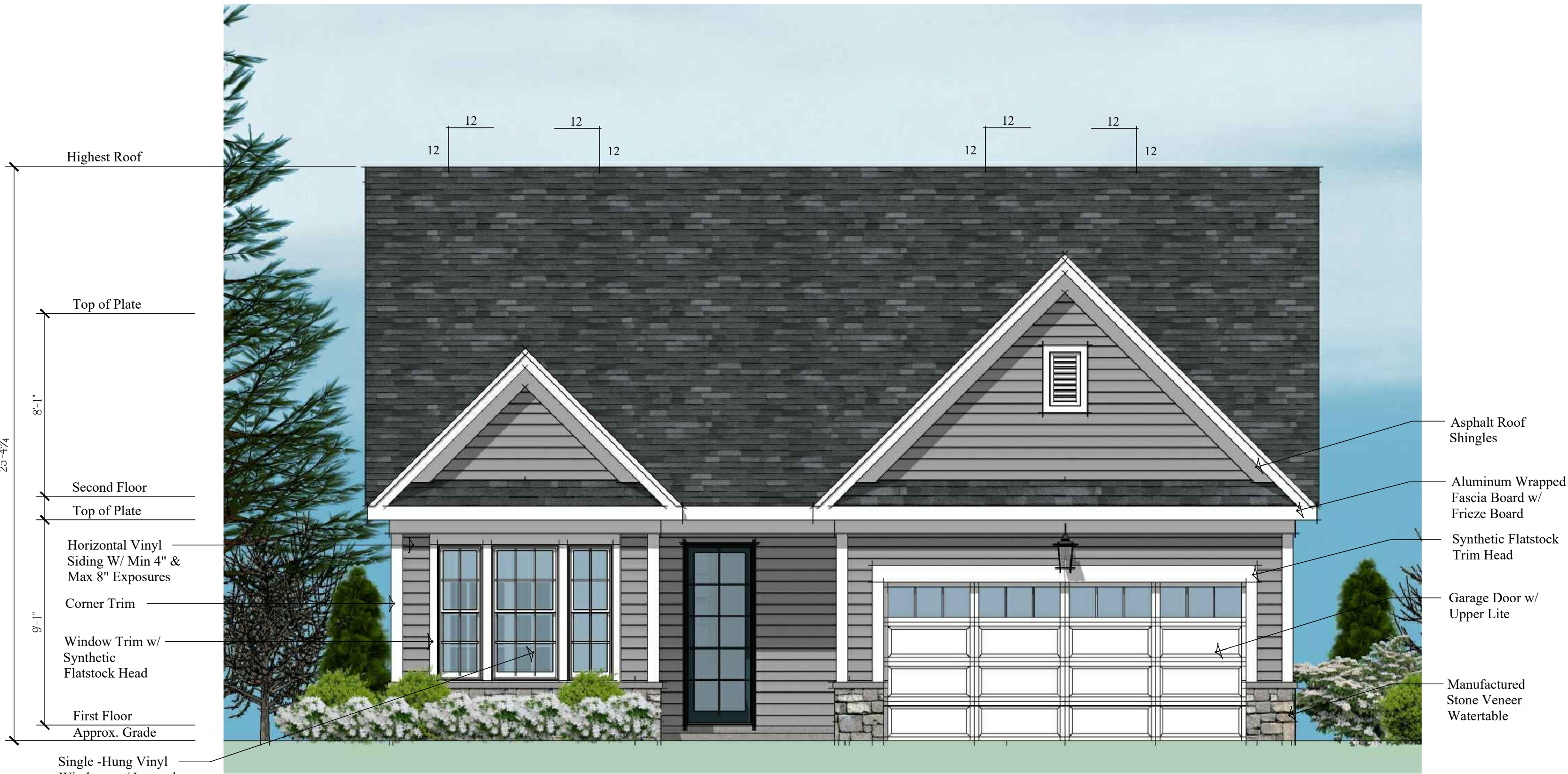
Rear Elevation
Scale: 1/8" = 1'-0" (Elevation A Shown)



Right Elevation
Scale: 1/8" = 1'-0" (Elevation A Shown)



Elevation C
Scale: 1/4" = 1'-0"



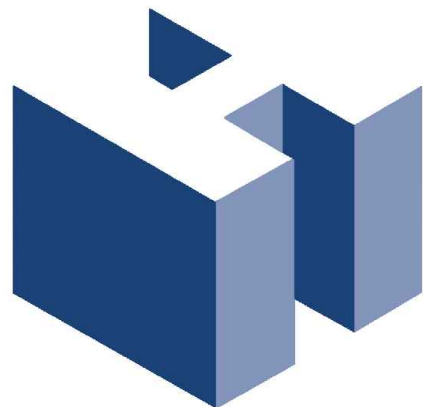
Elevation A
Scale: 1/4" = 1'-0"

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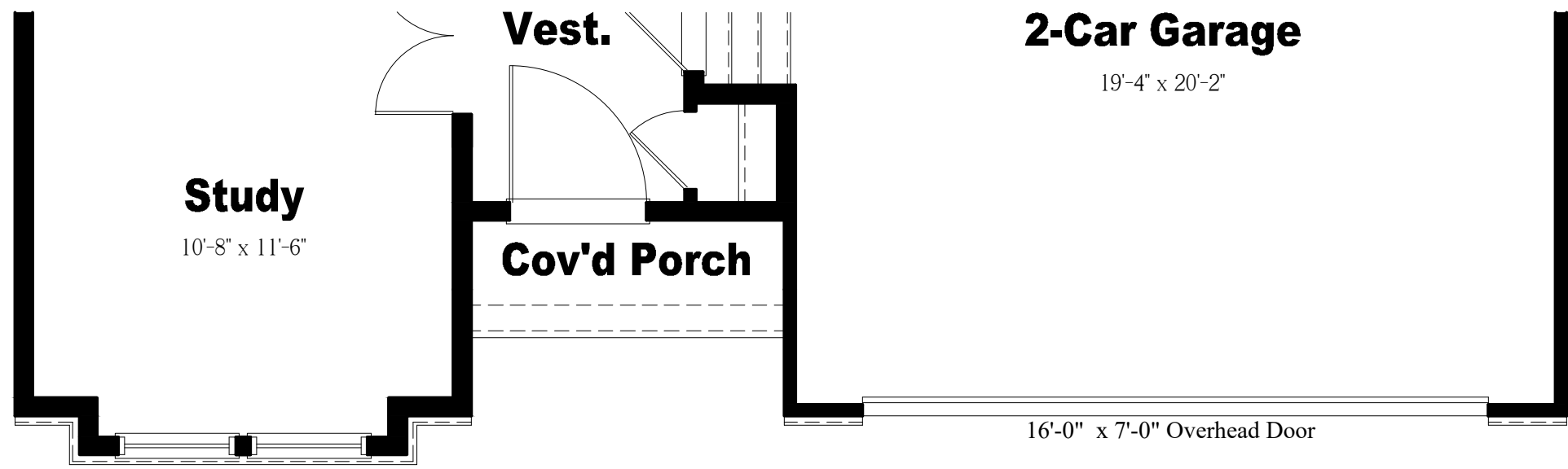
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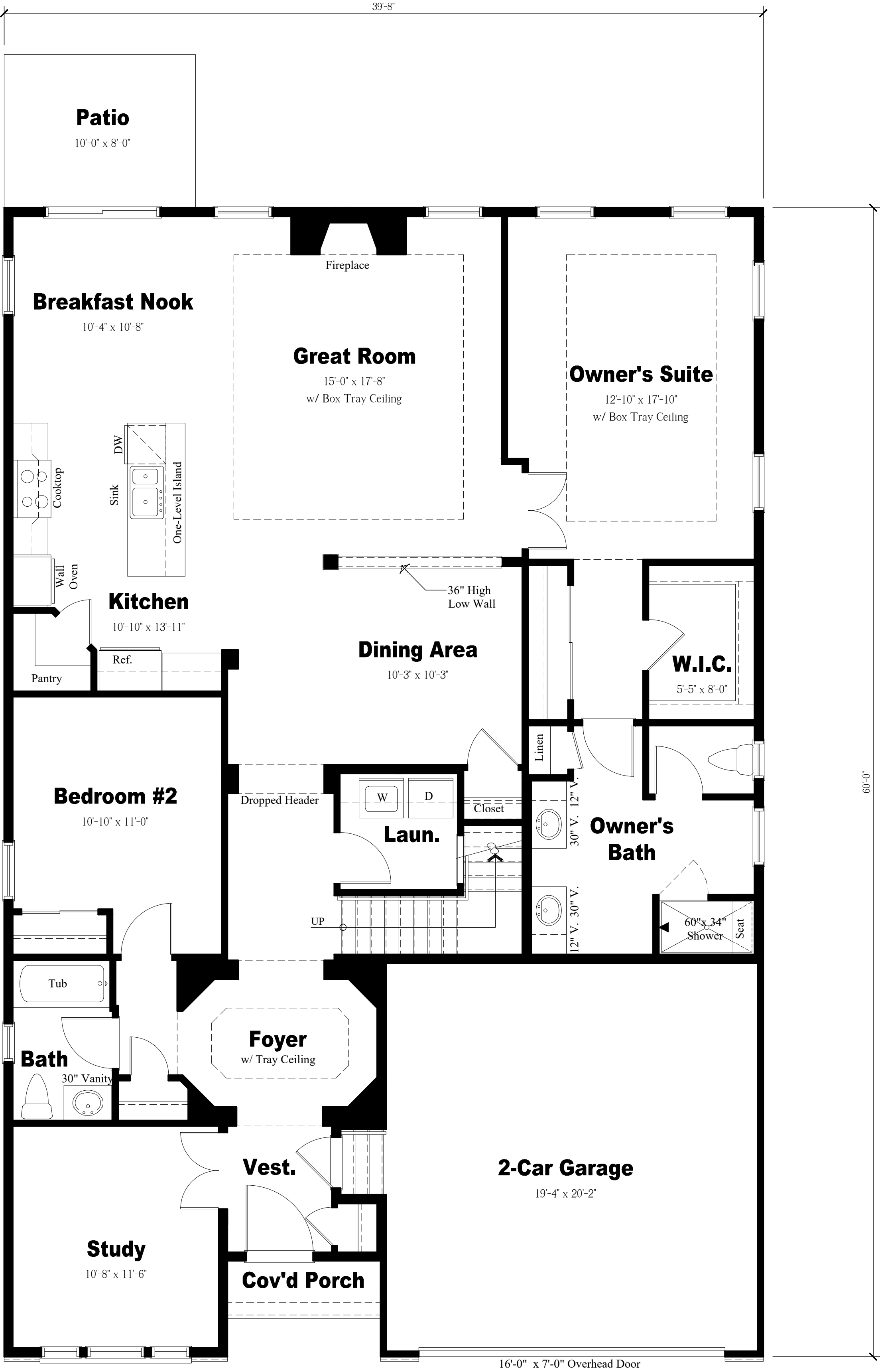
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REVISIONS:		SHEET TITLE:	
		Active Adult Single Family Seville Front Elevations	
		SCALE:	AS NOTED
		PROJ. NO.:	LEN-24022
		DATE:	March 14, 2024
		SHEET NO.	SK-9



Elevation C
Second Floor Plan
Scale: 1/4" = 1'-0"



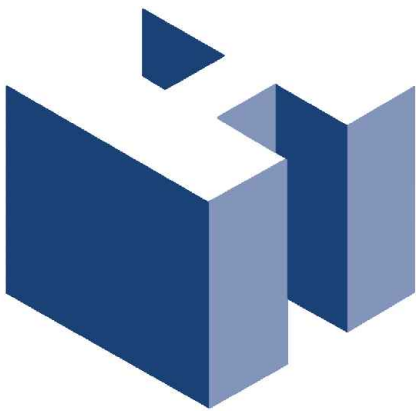
Elevation A
First Floor Plan
Scale: 1/4" = 1'-0"

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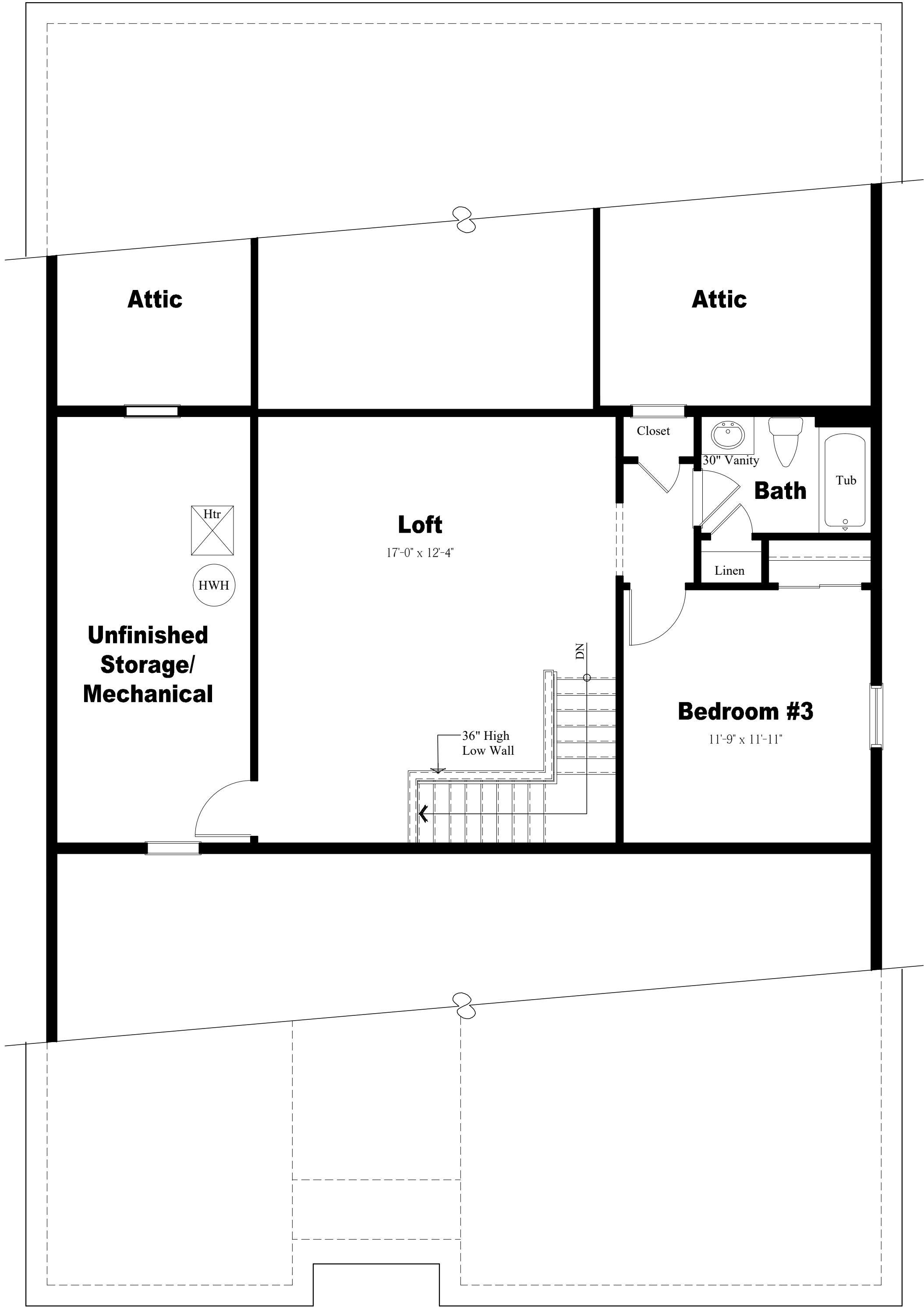


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REVISIONS:			SHEET TITLE:		SHEET NO.
			Active Adult Single Family Seville Floor Plans		
			SCALE:	AS NOTED	SK-10
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	



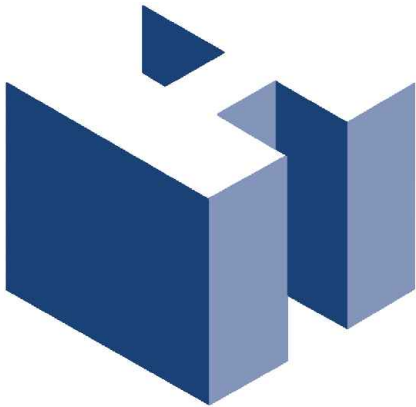
Elevation A (Elevation C Similar)
Second Floor Plan
Scale: 1/4" = 1'-0"

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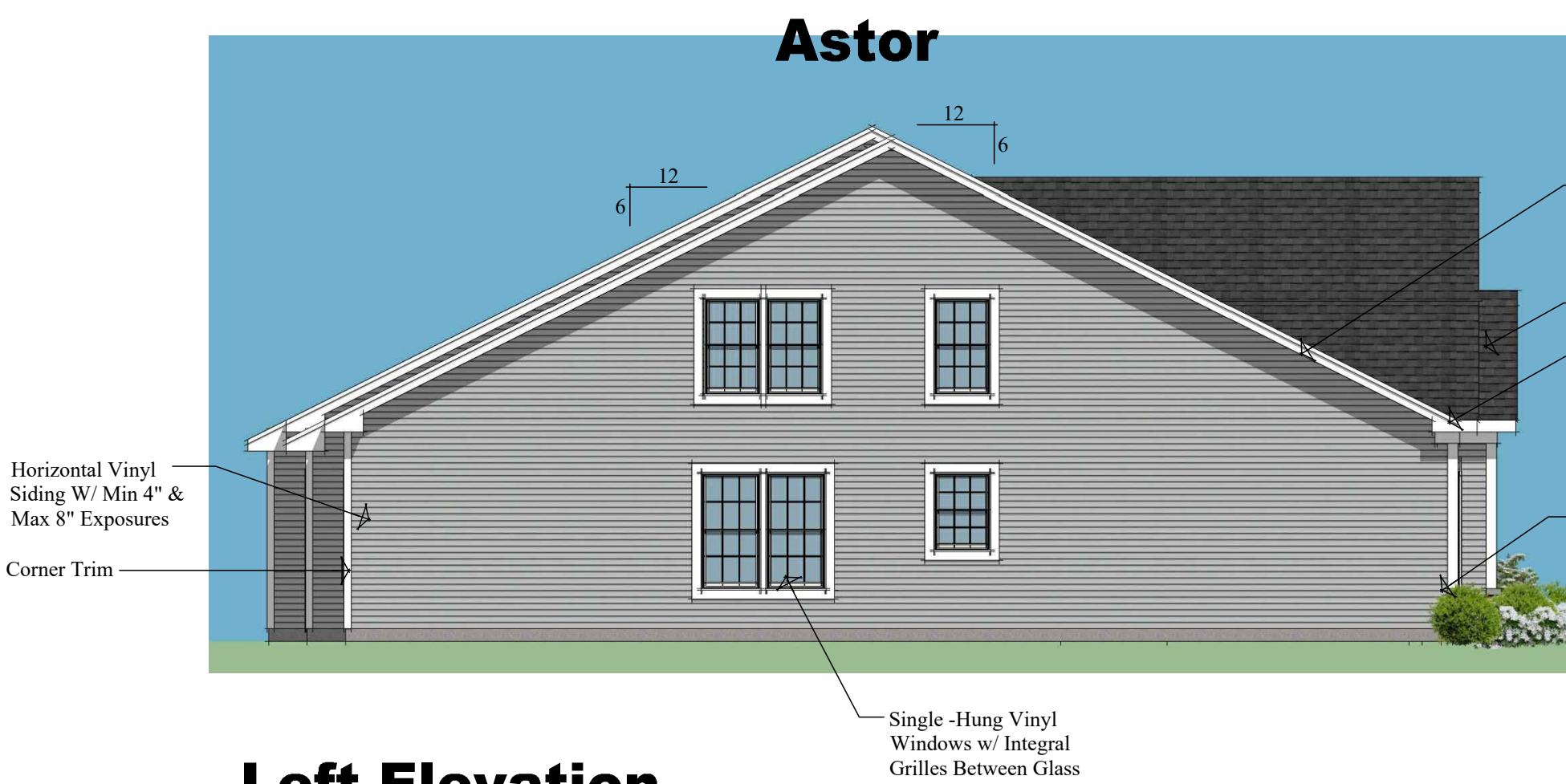


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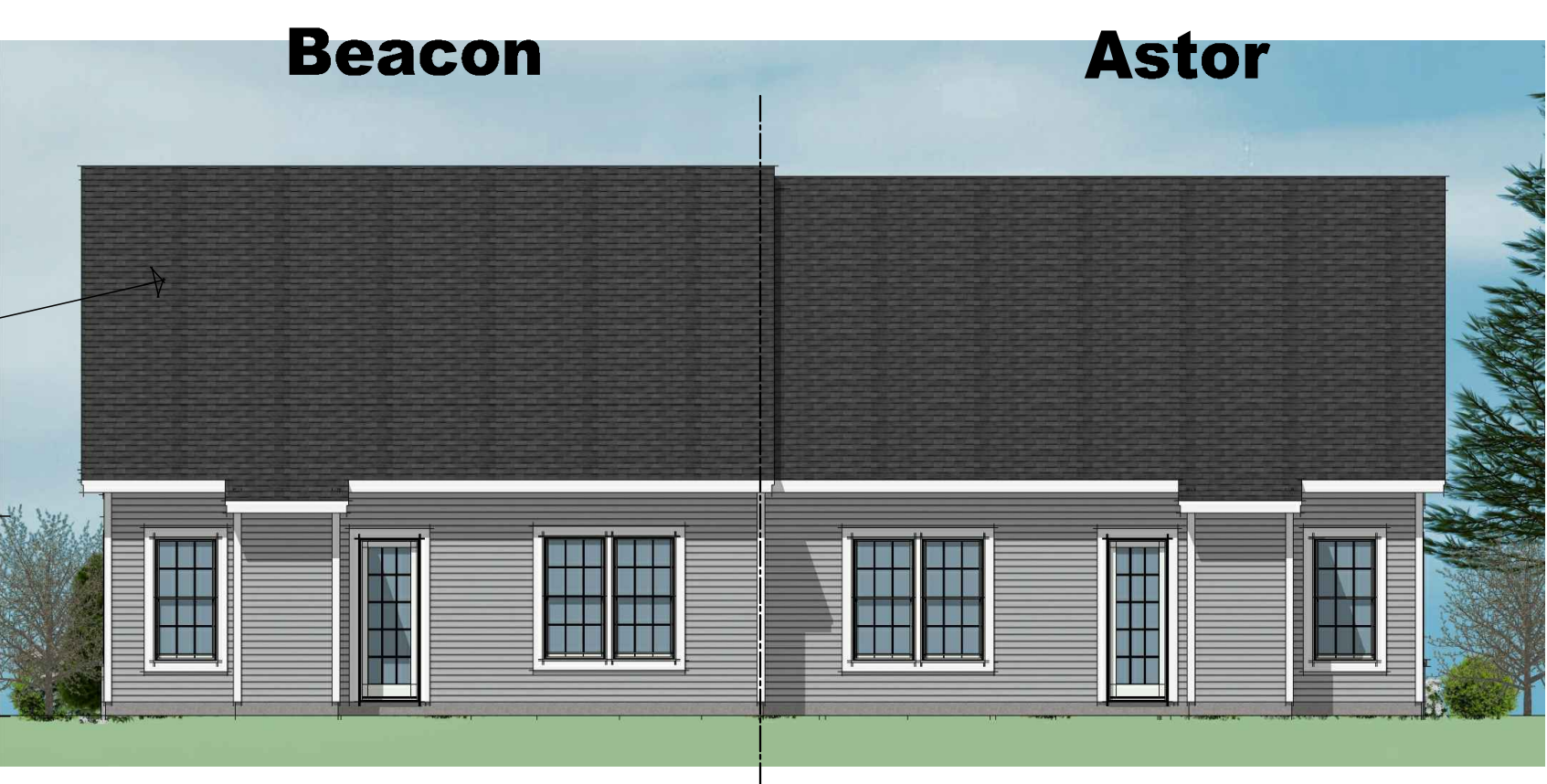
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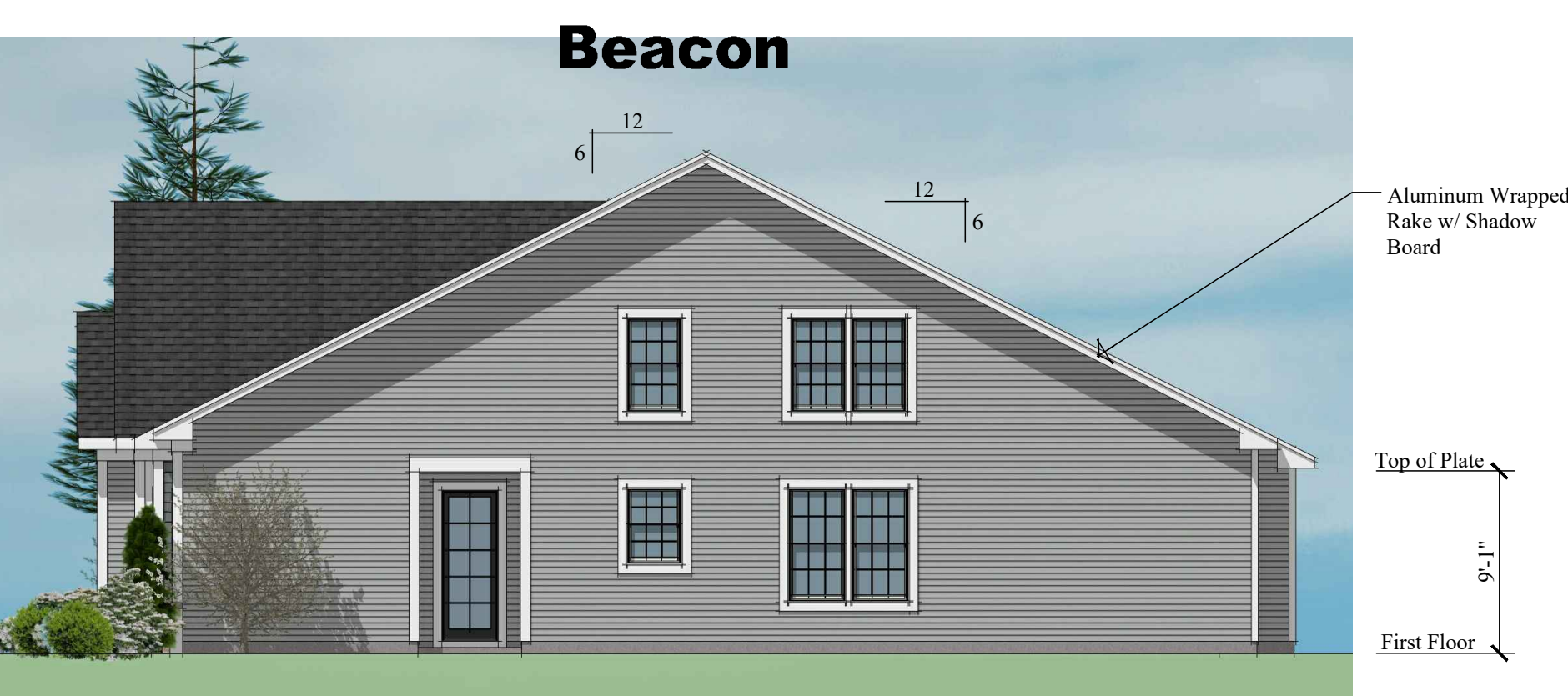
REVISIONS:			SHEET TITLE:	
			Active Adult Single Family	
			Seville Floor Plans	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SHEET NO.	SK-10.1



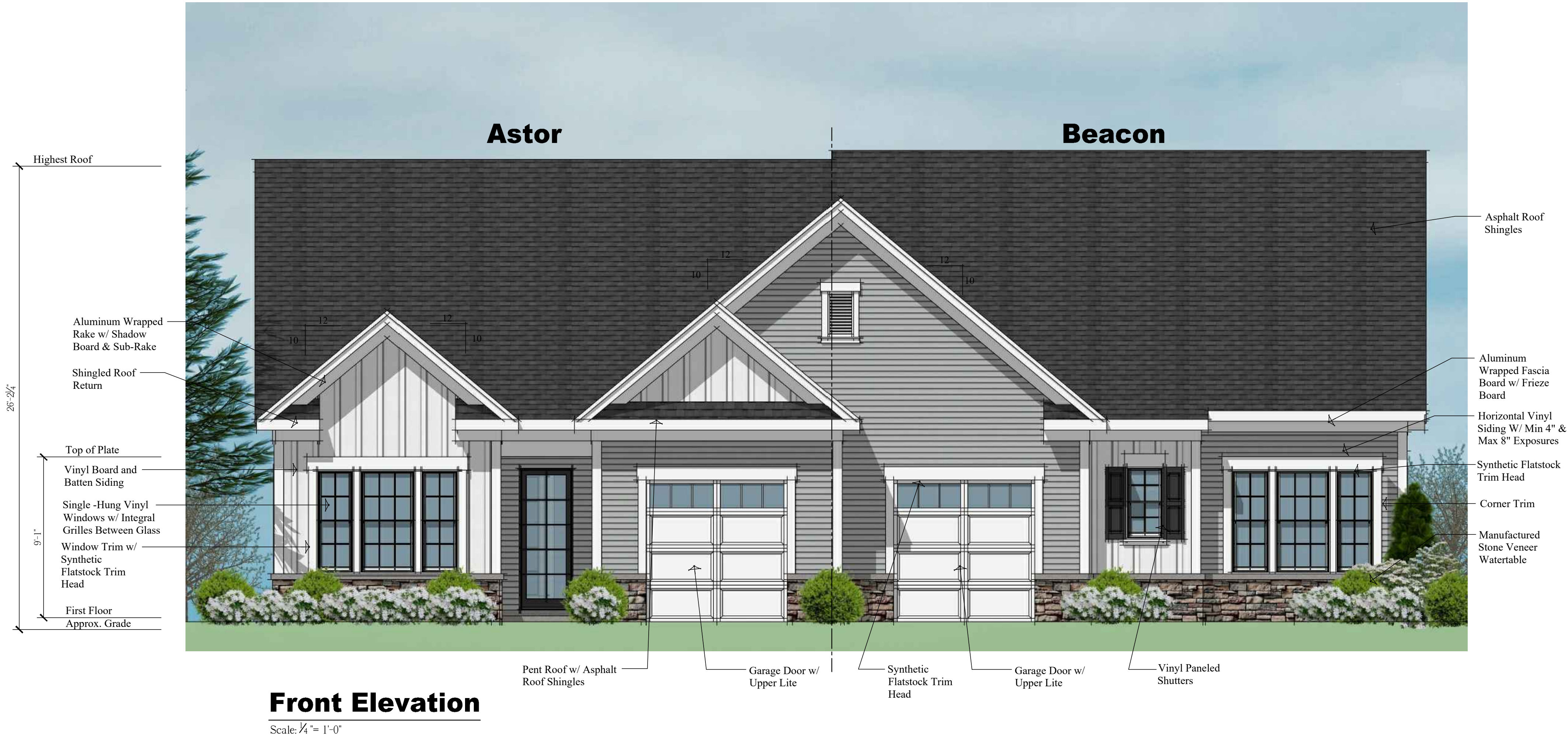
Left Elevation
Scale: 1/8" = 1'-0"



Rear Elevation
Scale: 1/8" = 1'-0"



Right Elevation
Scale: 1/8" = 1'-0"



Front Elevation
Scale: 1/4" = 1'-0"

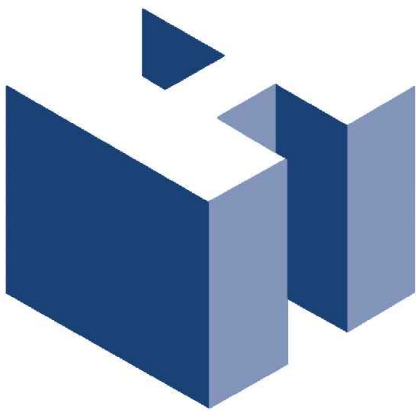
- Notes:**
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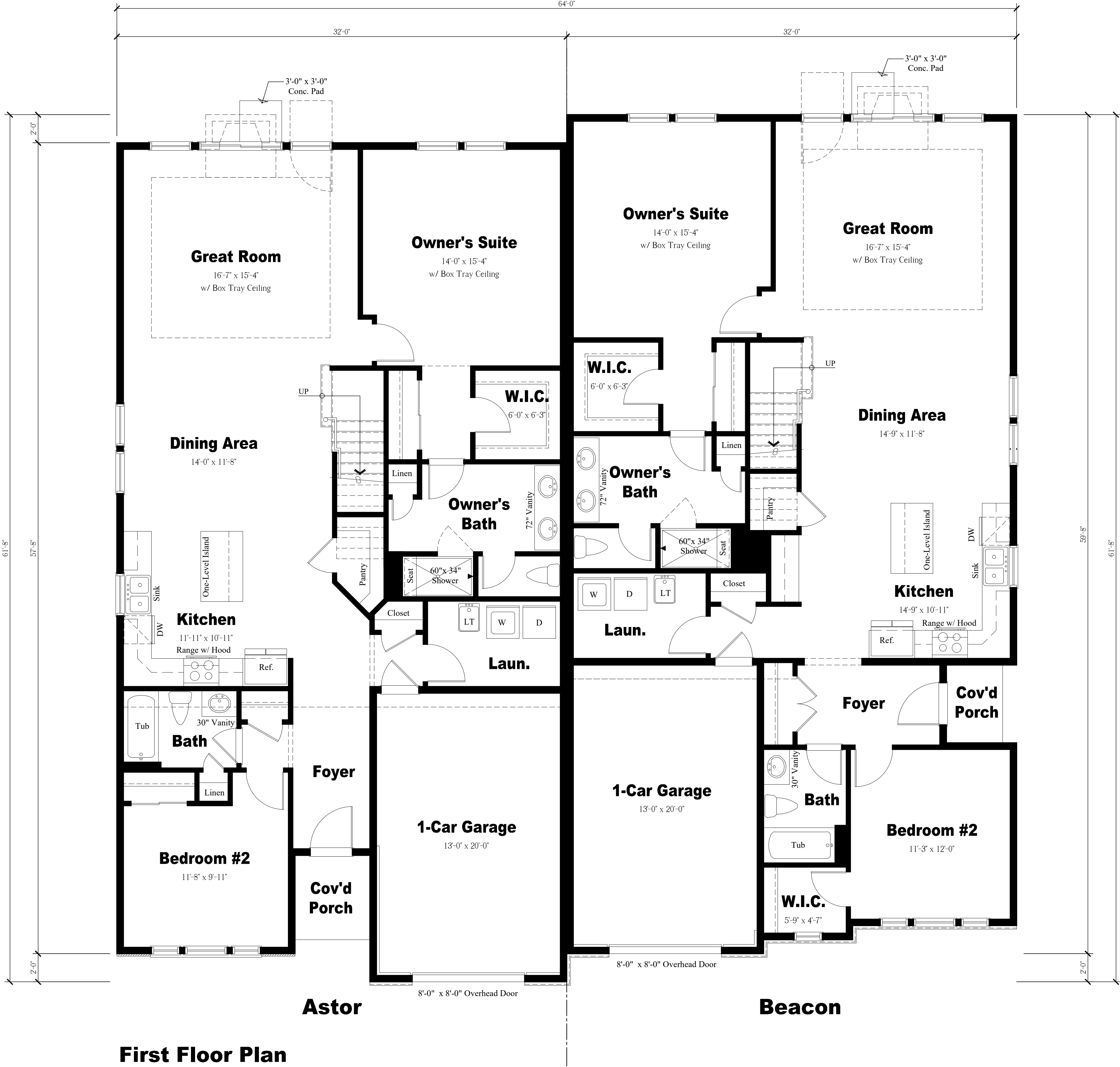
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REVISIONS:			SHEET TITLE:		SHEET NO. SK-11
			Active Adult Duplex Astor-Beacon Elevations		
			SCALE:	AS NOTED	
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	

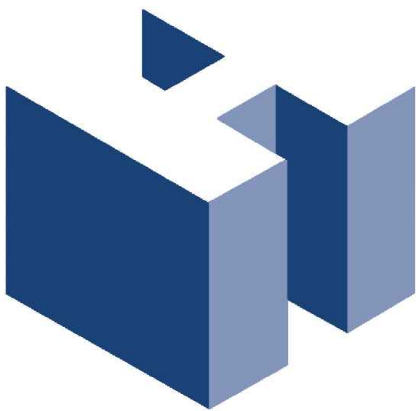


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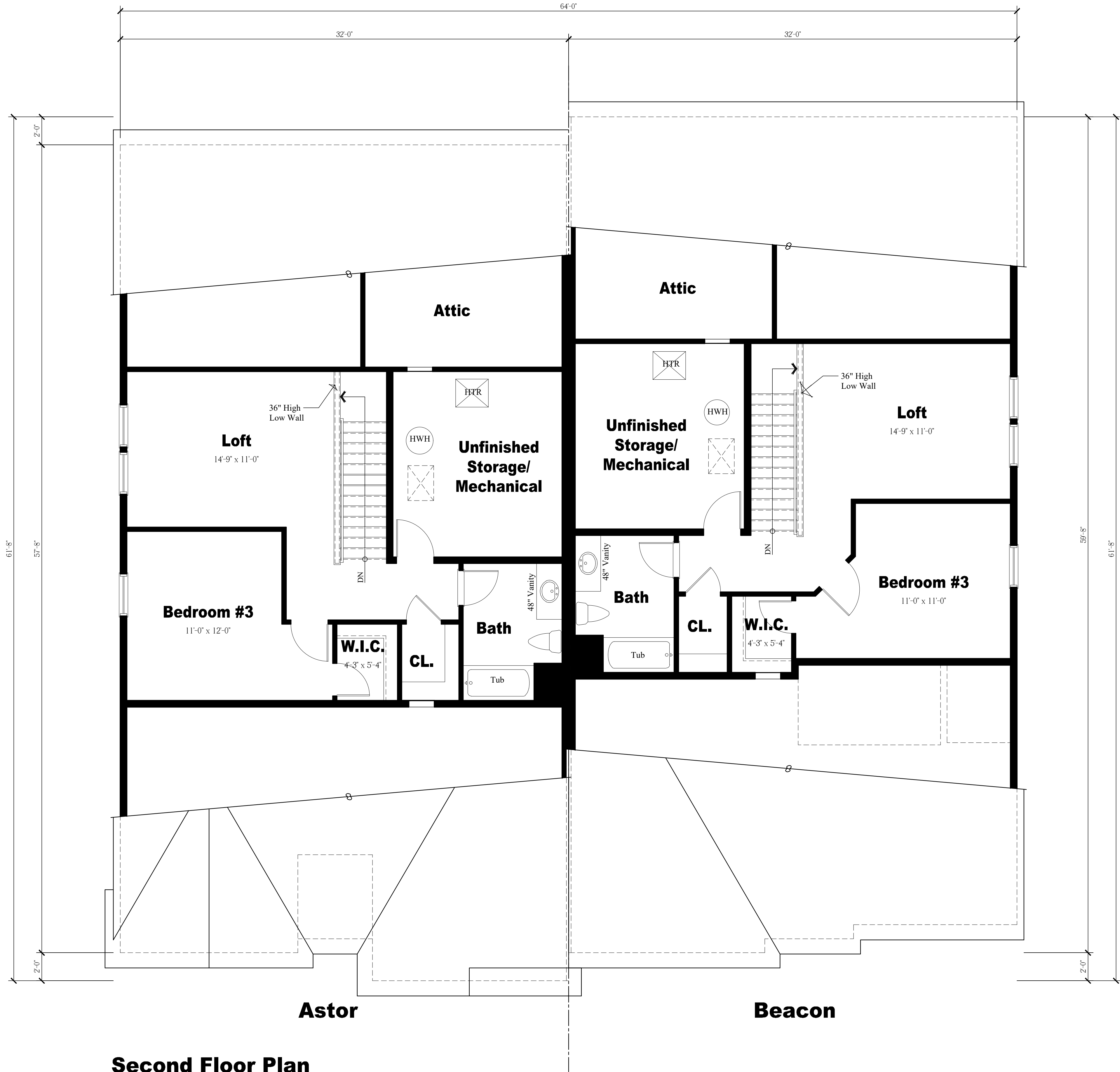


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REVISIONS:			SHEET TITLE:		SHEET NO.
			Active Adult Duplex Astor-Beacon 1st Floor Plan		
			SCALE:	AS NOTED	SK-12
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	



Second Floor Plan

Scale: 1/4" = 1'-0"

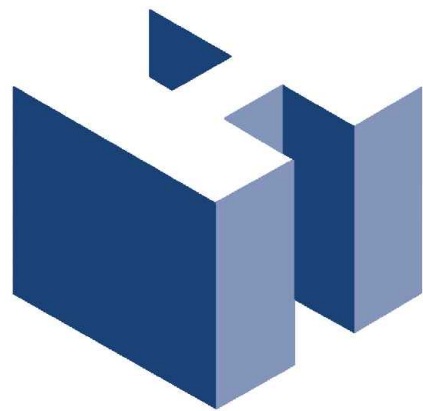
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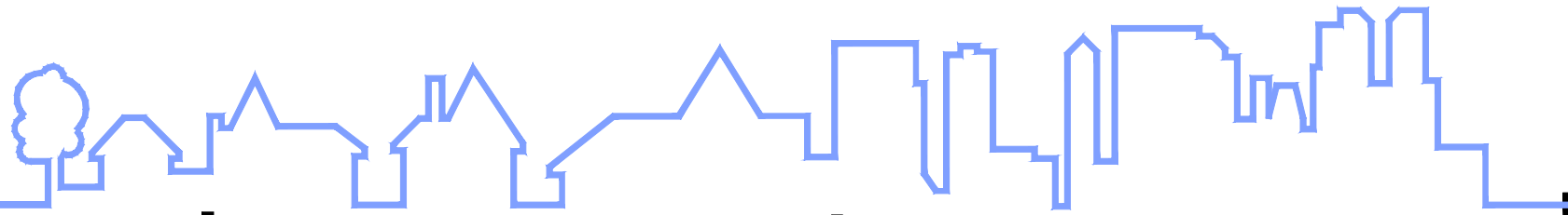
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REVISIONS:			SHEET TITLE:		SHEET NO. SK-121
			Active Adult Duplex Astor-Beacon 2nd Floor Plan		
			SCALE:	AS NOTED	
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	



Highest Roof

Asphalt Roof Shingles

Aluminum Wrapped Rake and Fascia w/ Synthetic Frieze

Top of Plate

Raised Panel Shutters

Vinyl Corner Boards

Vinyl Board and Batten Siding Third Floor

Top of Plate

Aluminum Wrapped Trim Surrounds

Vinyl Windows w/ Integral Grilles Between Glass

Second Floor

Top of Plate

Horizontal Vinyl Siding w/ Min 4" & Max 8" Exposures

Manufactured Stone Veneer

First Floor

Average Grade at Street, Front Elevation, Facing Side

- Notes:**
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 2. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

Front Elevation

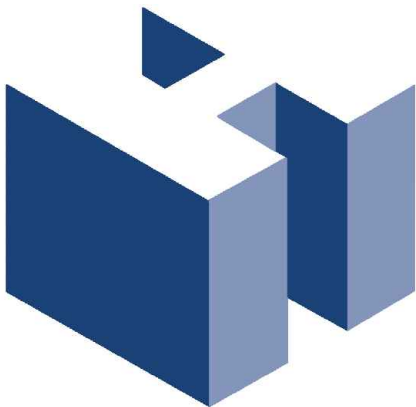
Scale: $\frac{3}{16}" = 1'-0"$

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REVISIONS:			SHEET TITLE:		SHEET NO.
1	12-11-24	Client Revisions	10-Plex Condo Building Elevations		
2	1-10-25	Client Revisions			
			SCALE:	AS NOTED	
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	



Rear Elevation

Scale: $\frac{1}{8}" = 1'-0"$

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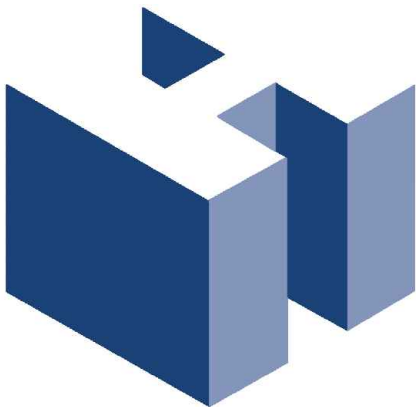
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Side Elevation

Scale: $\frac{1}{8}" = 1'-0"$

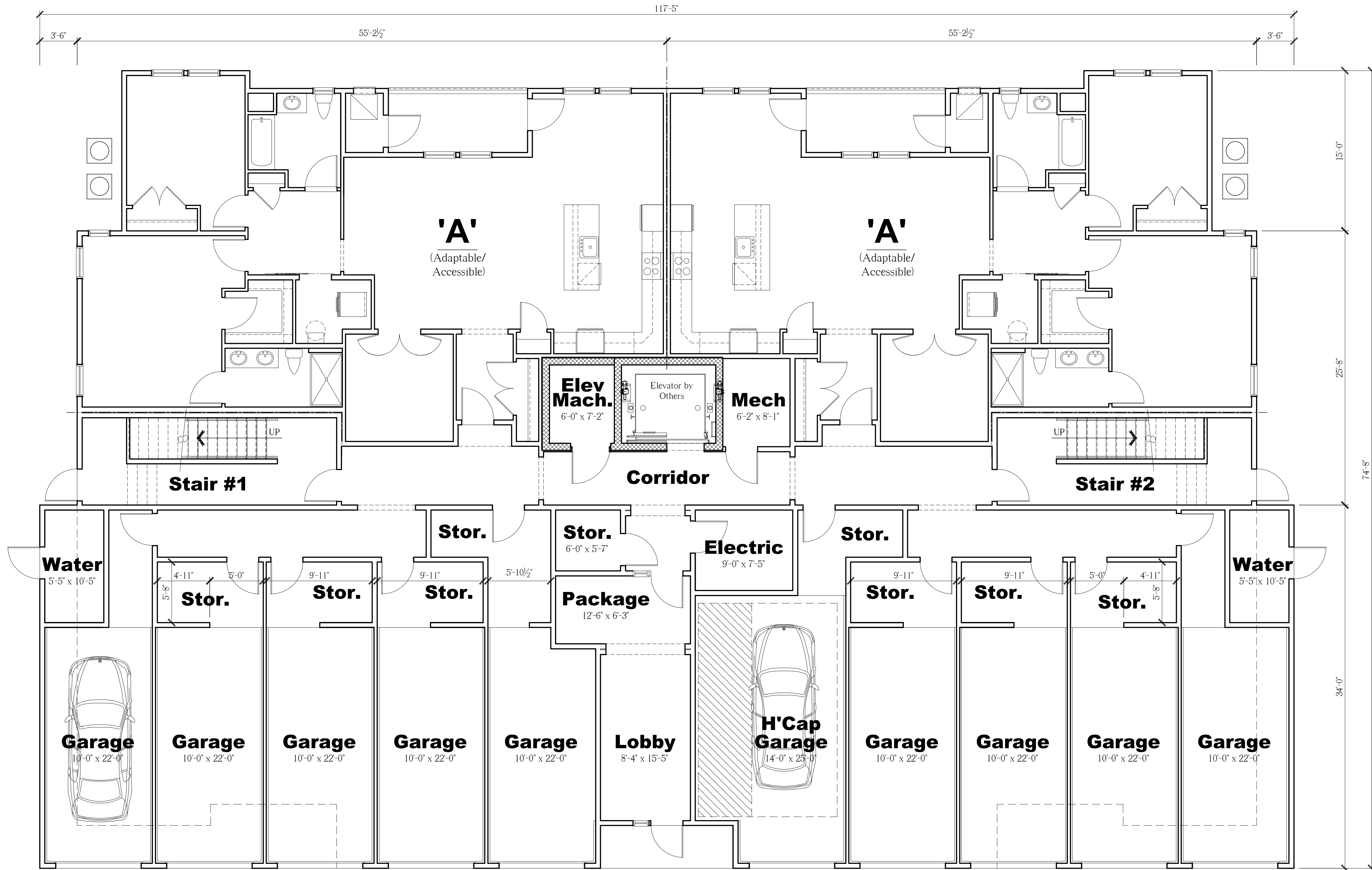


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REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	10-Plex Condo Building Elevations	
2	1-10-25	Client Revisions		
			SHEET NO.	
			SCALE: AS NOTED	SK-13.1
			PROJ. NO.: LEN-24022	
			DATE: March 14, 2024	



Overall First Floor Plan

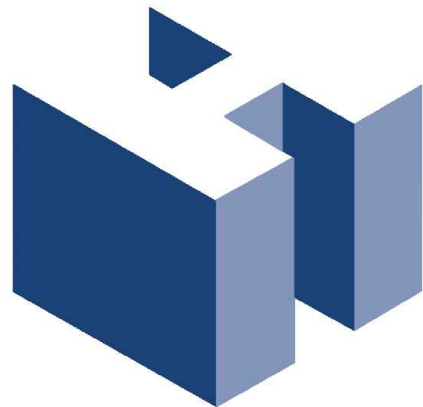
Scale: $\frac{3}{16}'' = 1'-0''$

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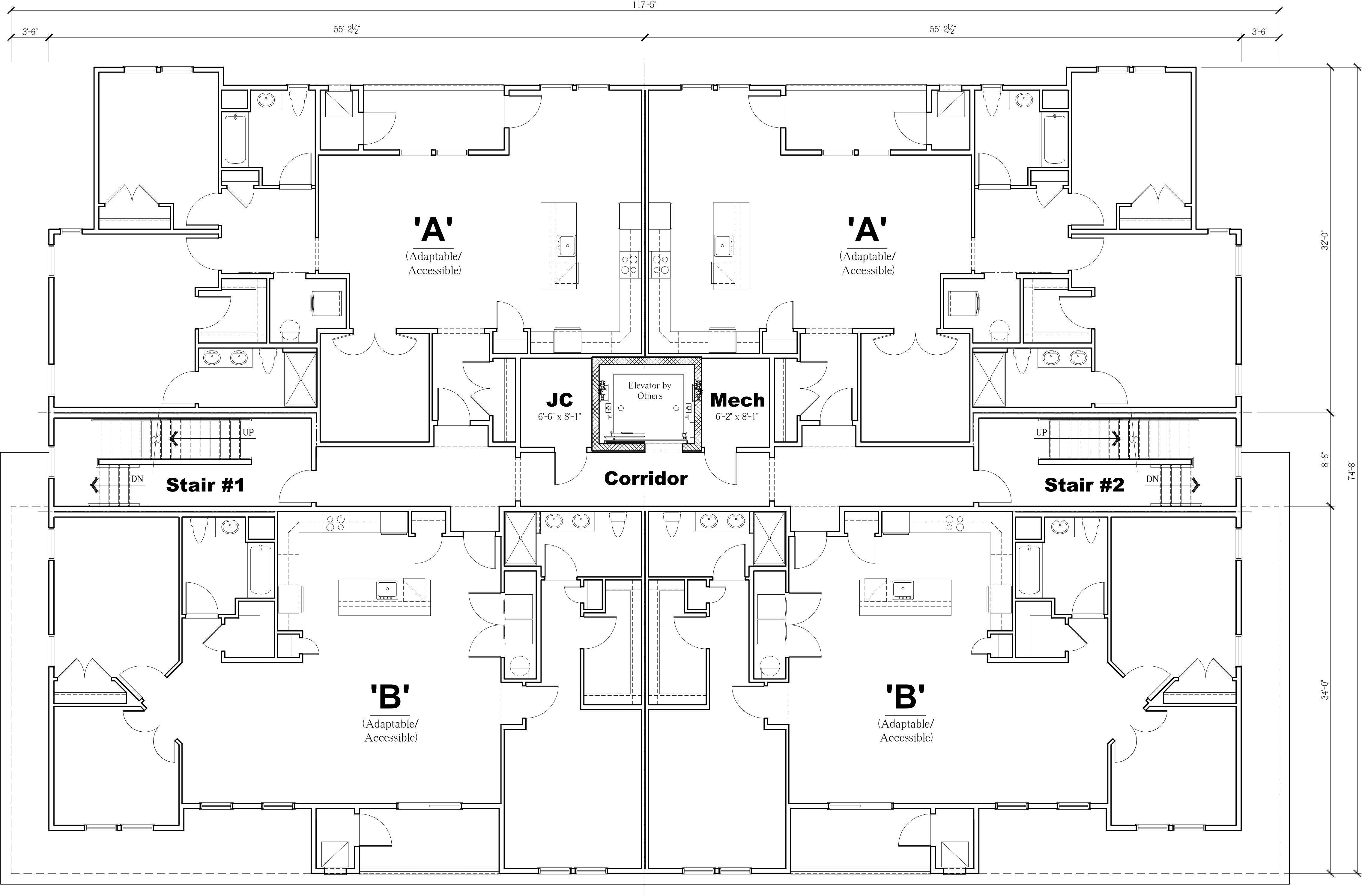
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REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	10-Plex Condo Building OA First Floor Plan	
2	1-10-25	Client Revisions		
			SHEET NO.	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SK-14	



Overall Second & Third Floor Plans

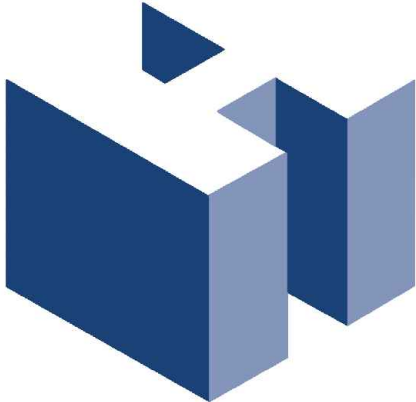
Scale: $\frac{3}{16}'' = 1'-0''$

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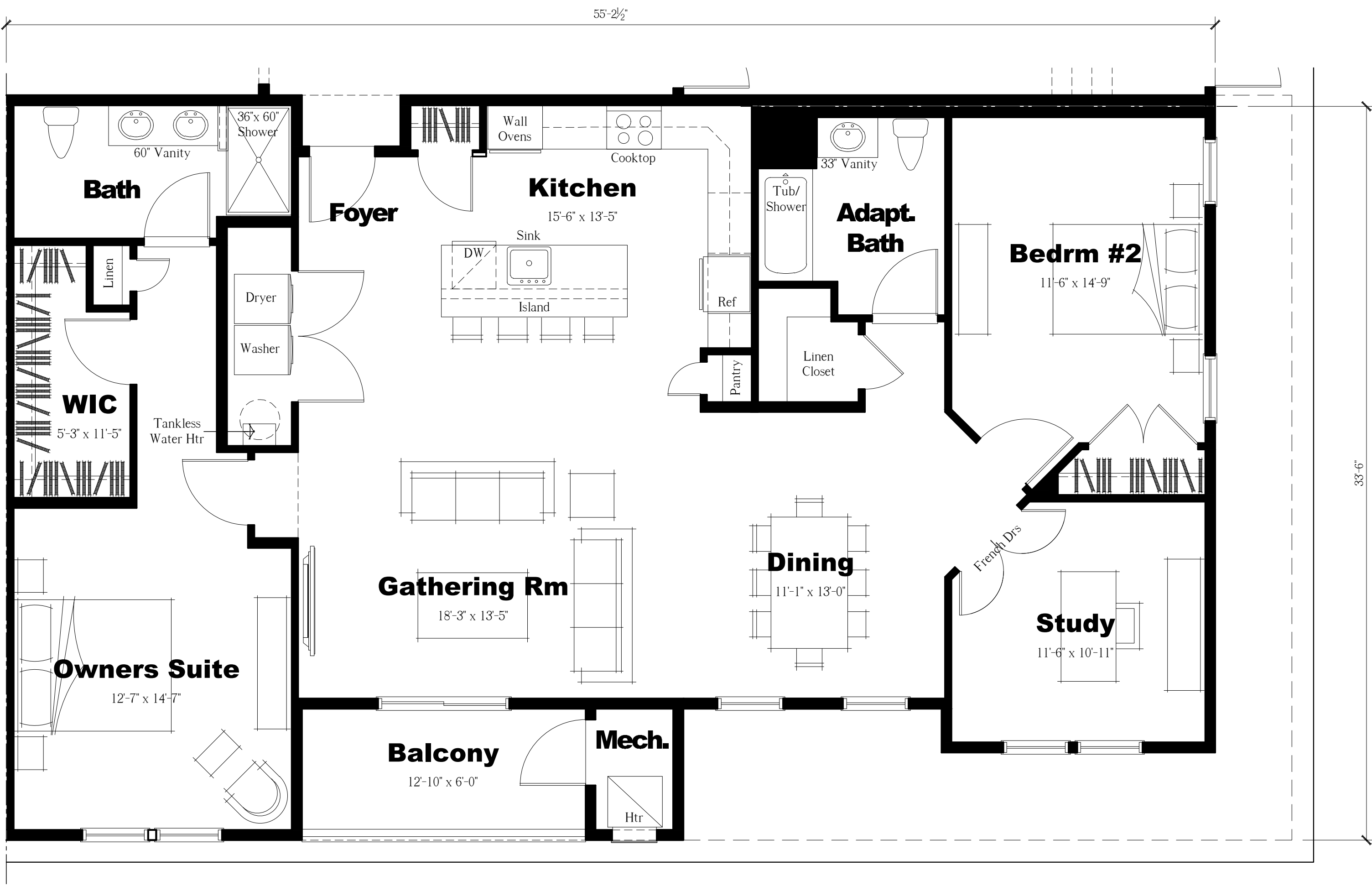
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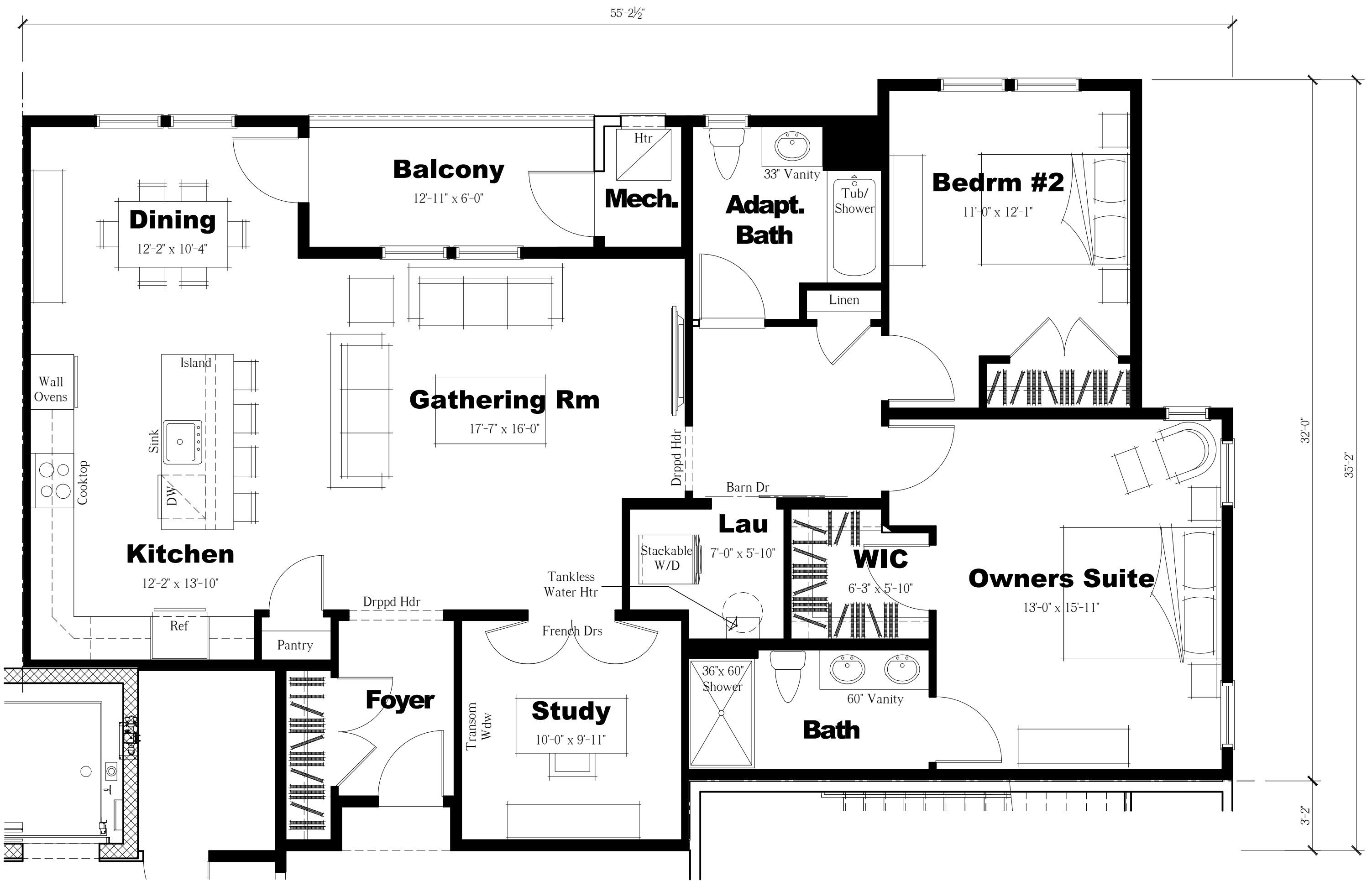
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REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	10-Plex Condo Building	
2	1-10-25	Client Revisions	OA Second & Third Flr Plans	
			SHEET NO.	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SK-14.1	



(1,631 sq ft)
Enlarged Unit 'B' Floor Plan
Scale: 1/4" = 1'-0"



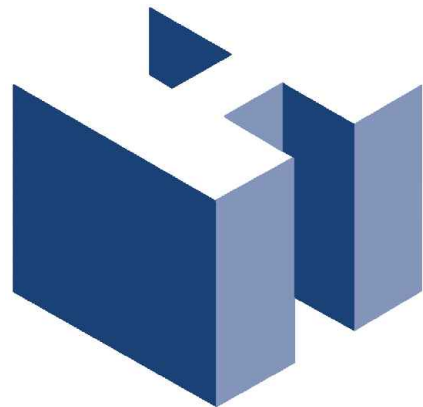
(1,527 sq ft)
Enlarged Unit 'A' Floor Plan
Scale: 1/4" = 1'-0"

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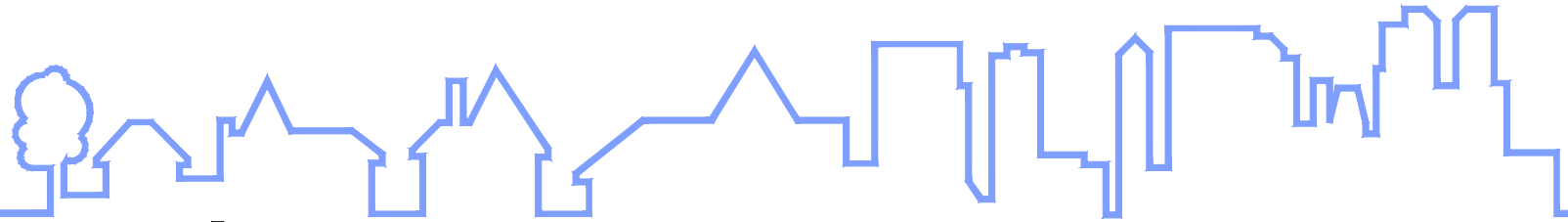


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REVISIONS:			SHEET TITLE:		
1	12-11-24	Client Revisions	10-Plex Condo Building Enlarged Unit Plans		
2	1-10-25	Client Revisions			
			SCALE:	AS NOTED	SHEET NO.
			PROJ. NO.:	LEN-24022	SK-15
			DATE:	March 14, 2024	



Right Side Elevation

Scale: 1/8" = 1'-0"



Rear Elevation

Scale: 1/8" = 1'-0"



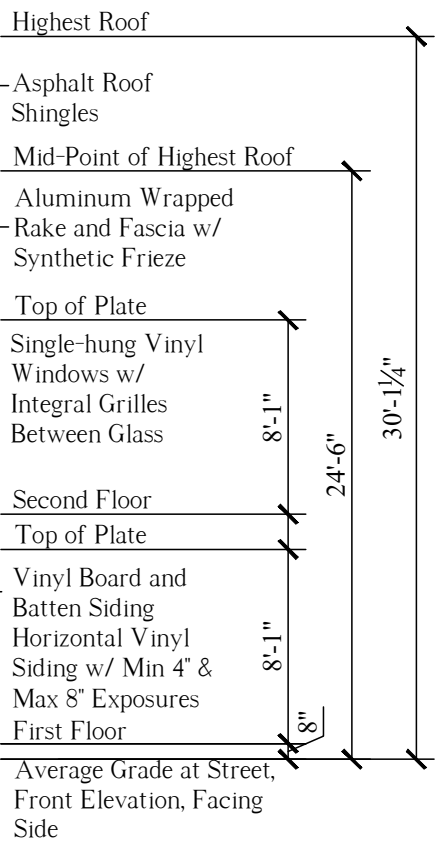
Left Side Elevation

Scale: 1/8" = 1'-0"



Front Elevation

Scale: 1/8" = 1'-0"



Corner Trim
Trim Surrounds

Notes:

- 1. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

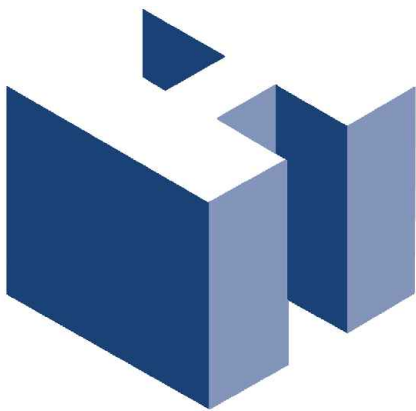
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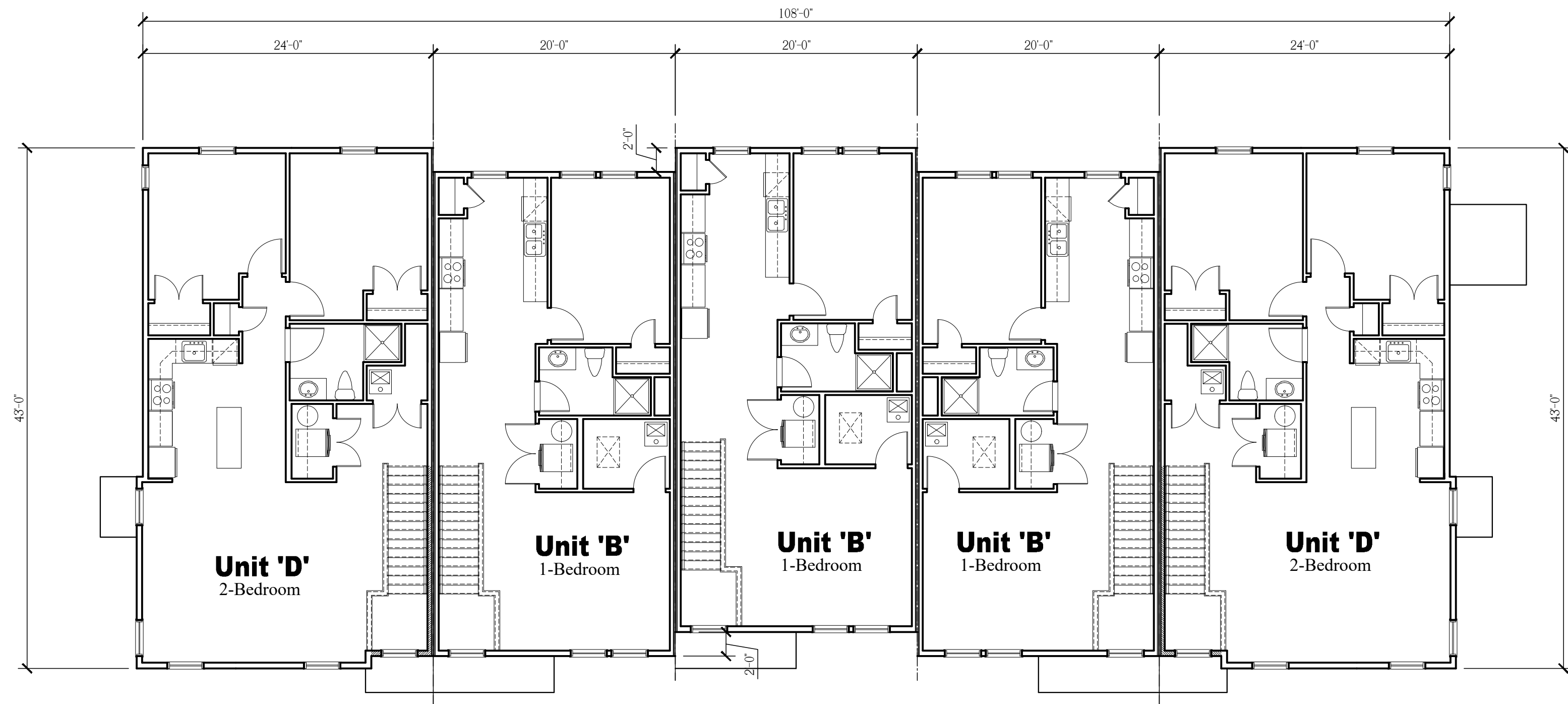
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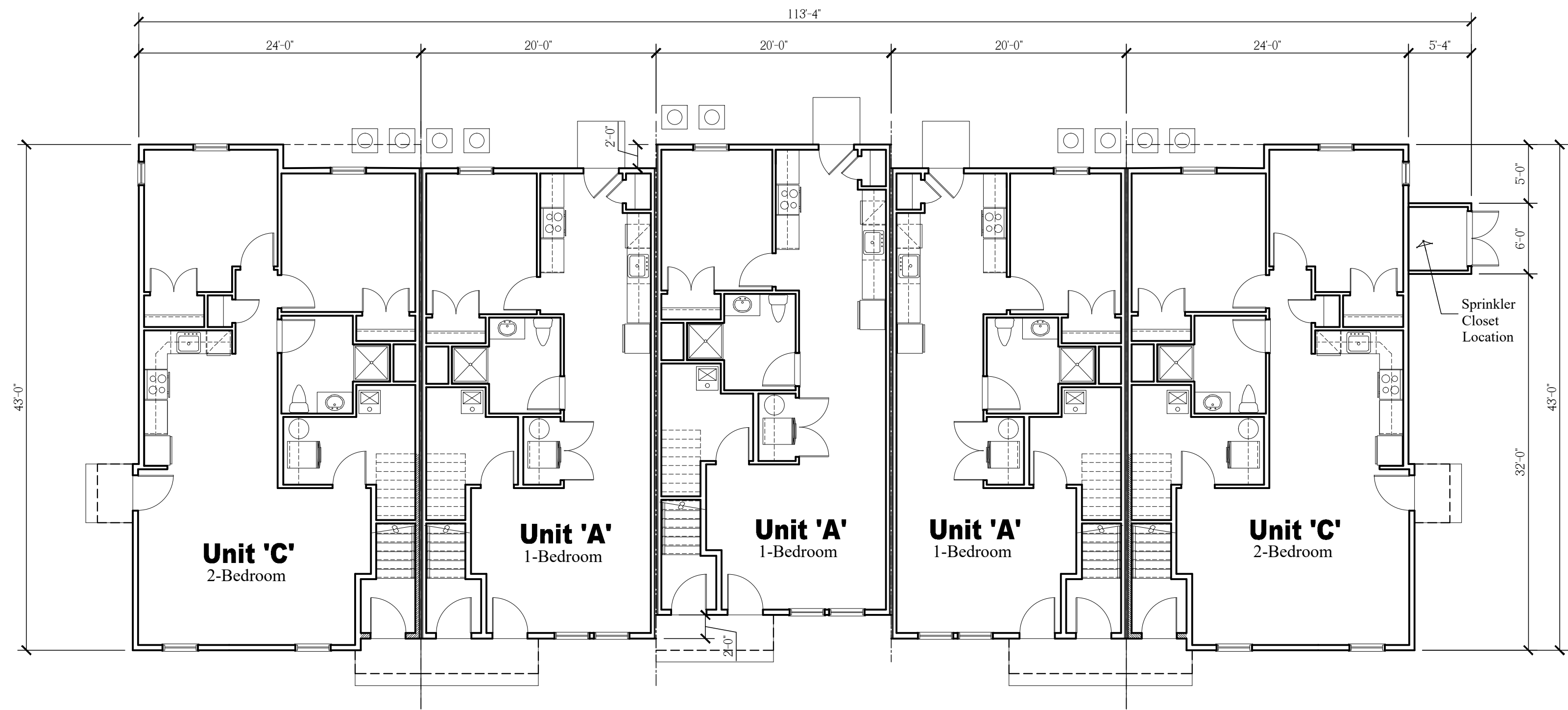


REVISIONS:			SHEET TITLE:	
			Affordable Housing 10-Unit Building Elevations	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SHEET NO.	SK-16



Overall Second Floor Plan (10-Unit Building)

Scale: 1/8" = 1'-0"



Overall First Floor Plan (10-Unit Building)

Scale: 1/8" = 1'-0"

UNIT MIX

10-UNIT BUILDING			
UNIT TYPE	FIRST FLOOR	SECOND FLOOR	TOTAL NUMBER of UNITS
UNIT A (1-BR)	3	0	3
UNIT B (1-BR)	0	3	3
UNIT C (2-BR)	2	0	2
UNIT D (2-BR)	0	2	2
TOTAL			10

TOTAL NUMBER OF UNITS			
UNIT TYPE	10-Unit Building	TOTAL NUMBER of UNITS	%
1-BEDROOM	6	6	60%
2-BEDROOM	4	4	40%
TOTAL		10	

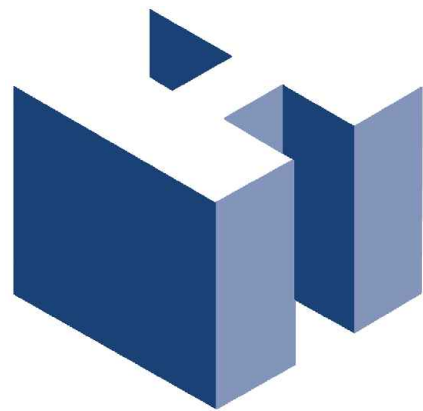
NOTE:
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SUBJECT TO CHANGE. THE BUILDER RESERVES THE RIGHT TO MAKE CHANGES AS NEEDED TO THE FLOOR
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CLIENT:

LENNAR®

Venue at Deer Valley

Hopewell Township
Mercer County, New Jersey



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REVISIONS:			SHEET TITLE:	
			Affordable Housing	
			10-Unit Overall Bldg Flr Plans	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SHEET NO.	
			SK-16.1	



Right Side Elevation

Scale: 1/8" = 1'-0"



Rear Elevation

Scale: 1/8" = 1'-0"



Left Side Elevation

Scale: 1/8" = 1'-0"



Front Elevation

Scale: 1/8" = 1'-0"

Corner Trim
Trim Surrounds

Highest Roof
Asphalt Roof Shingles
Mid-Point of Highest Roof
Aluminum Wrapped Rake and Fascia w/ Synthetic Frieze
Top of Plate
Single-hung Vinyl Windows w/ Integral Grilles Between Glass
Second Floor
Top of Plate
Vinyl Board and Batten Siding
Horizontal Vinyl Siding w/ Min 4" & Max 8" Exposures
First Floor
Average Grade at Street, Front Elevation, Facing Side

8'-1"
24'-6"
30'-1/4"
8'-1"
5"

Notes:

- 1. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

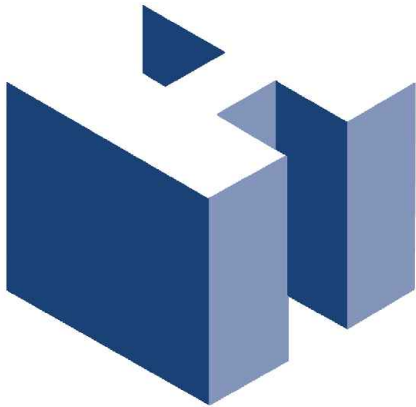
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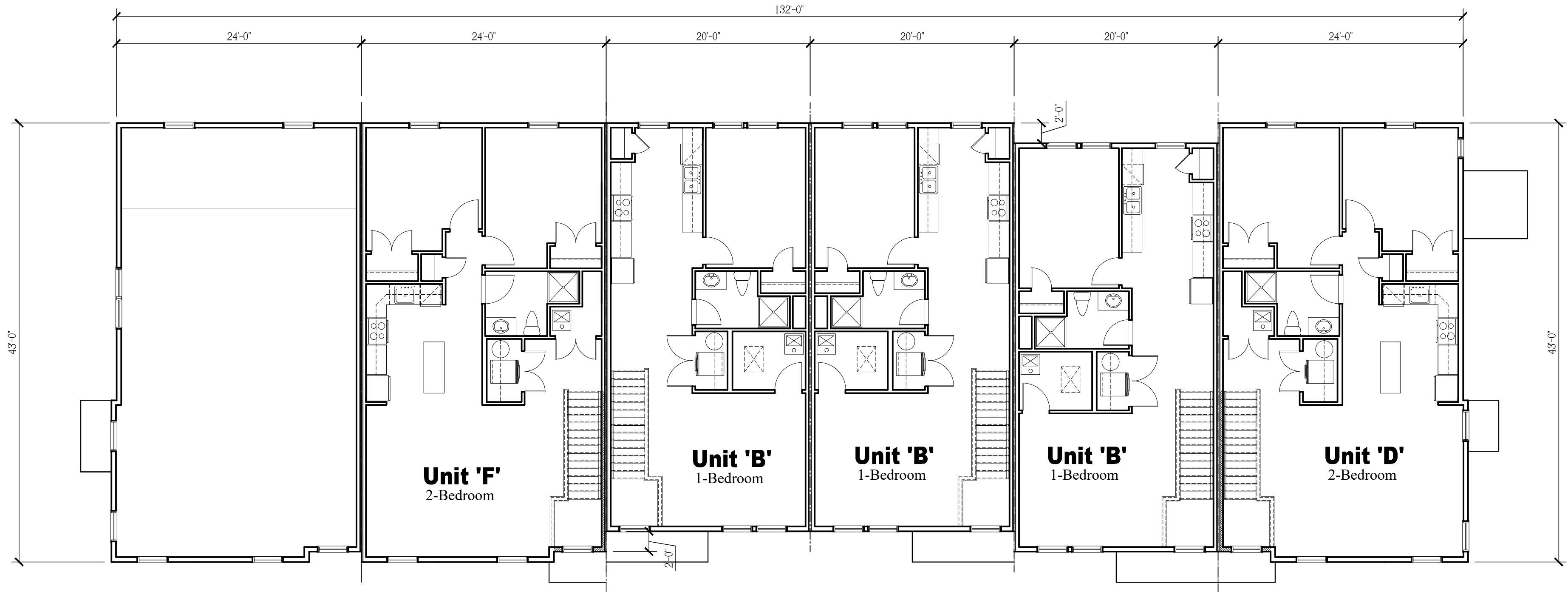
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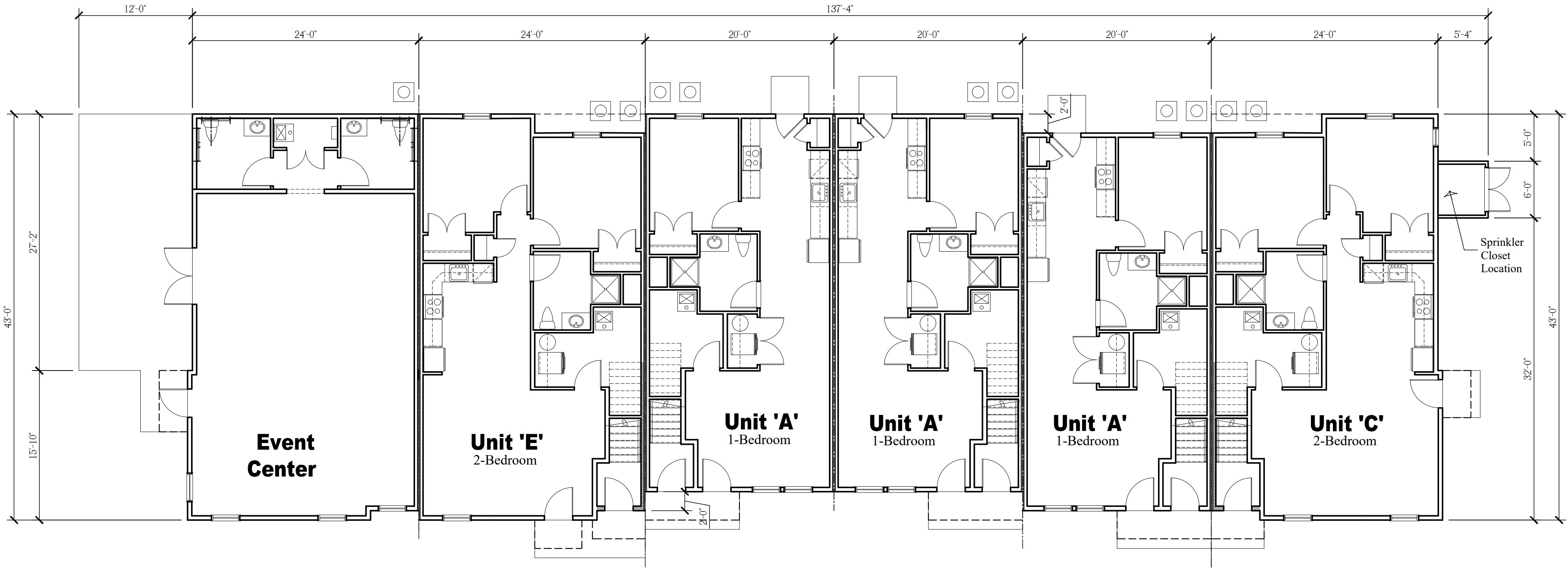


REVISIONS:			SHEET TITLE:		SHEET NO. SK-17
			Affordable Housing 10-Unit/ Event Building Elevs		
			SCALE:	AS NOTED	
			PROJ. NO.:	LEN-24022	
			DATE:	March 14, 2024	



Overall Second Floor Plan (10-Unit/ Event Building)

Scale: 1/8" = 1'-0"



Overall First Floor Plan (10-Unit/ Event Building)

Scale: 1/8" = 1'-0"

UNIT MIX

10-UNIT BUILDING			
UNIT TYPE	FIRST FLOOR	SECOND FLOOR	TOTAL NUMBER of UNITS
UNIT A (1-BR)	3	0	3
UNIT B (1-BR)	0	3	3
UNIT C (2-BR)	2	0	2
UNIT D (2-BR)	0	2	2
TOTAL			10

TOTAL NUMBER OF UNITS			
UNIT TYPE	10-Unit Building	TOTAL NUMBER of UNITS	%
1-BEDROOM	6	6	60%
2-BEDROOM	4	4	40%
TOTAL		10	

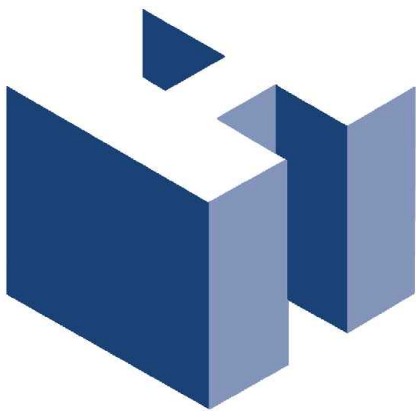
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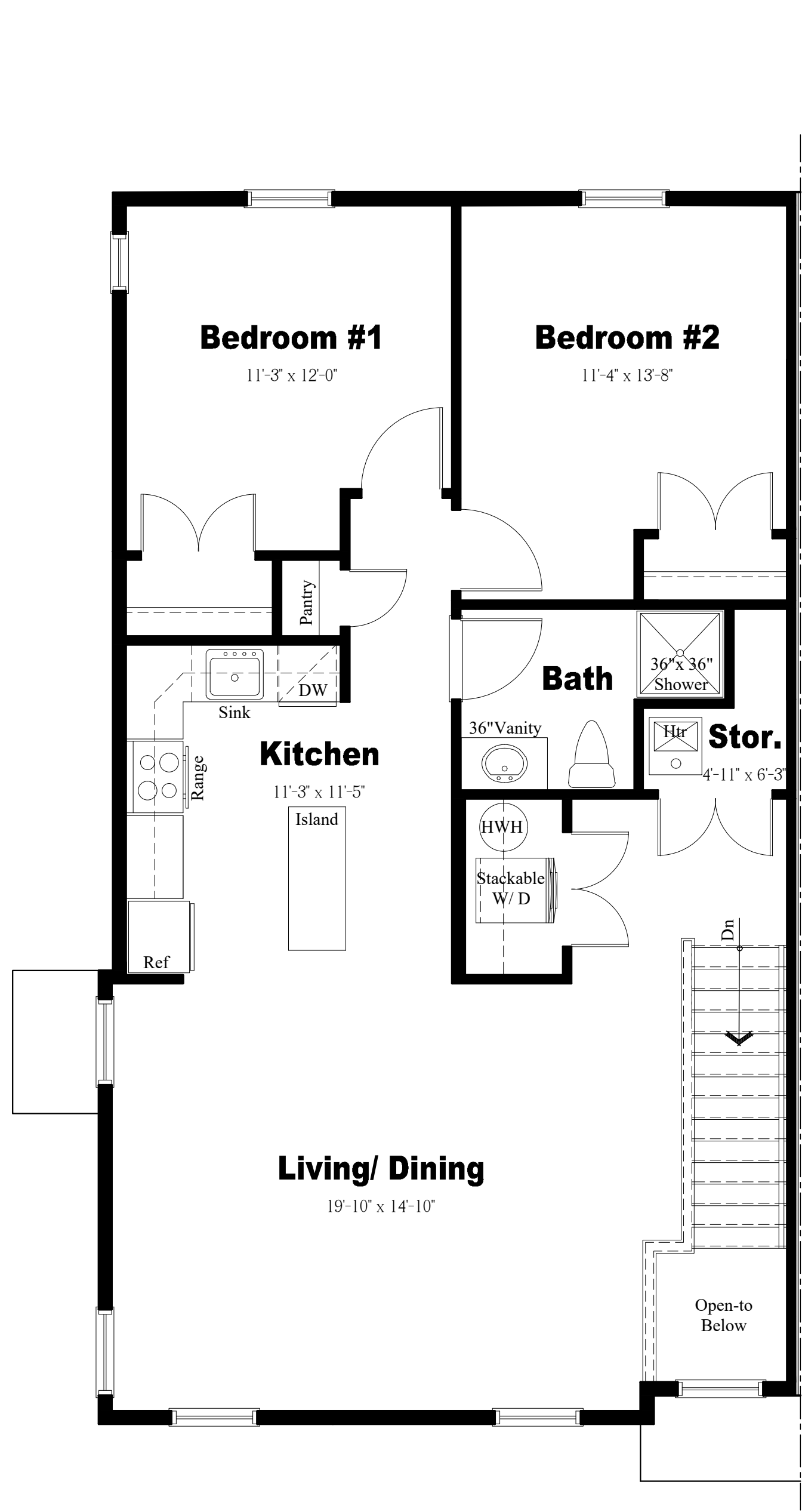
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REVISIONS:			SHEET TITLE:	
			Affordable Housing	
			10-Unit/ Event OA Bldg Flr Plans	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SHEET NO.	
			SK-17.1	

AREA CALCULATIONS

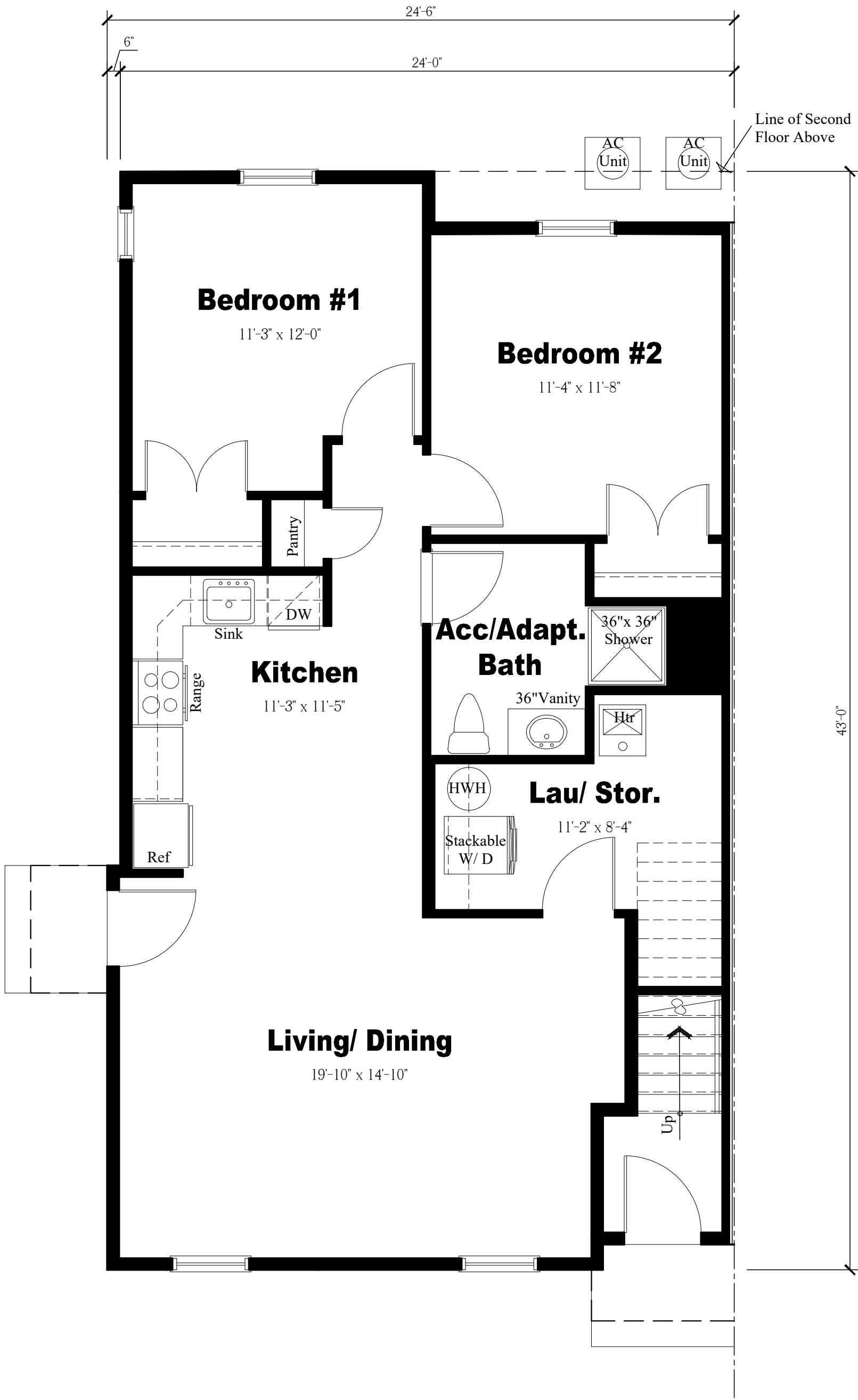
UNIT TYPE	FIRST FLOOR SQ. FTG.	SECOND FLOOR SQ. FTG.	TOTAL SQ. FTG.
UNIT A (1-BR)	774	0	774
UNIT B (1BR)	44	730	774
UNIT C (2-BR)	779	0	779
UNIT D (2-BR)	44	748	792
UNIT E (2-BR)	779	0	779
UNIT F (2-BR)	44	748	792
EVENT SPACE	1,034	0	1,034



Unit D (2-Bedroom)

Second Floor Plan- End Unit

Scale: 1/4" = 1'-0"

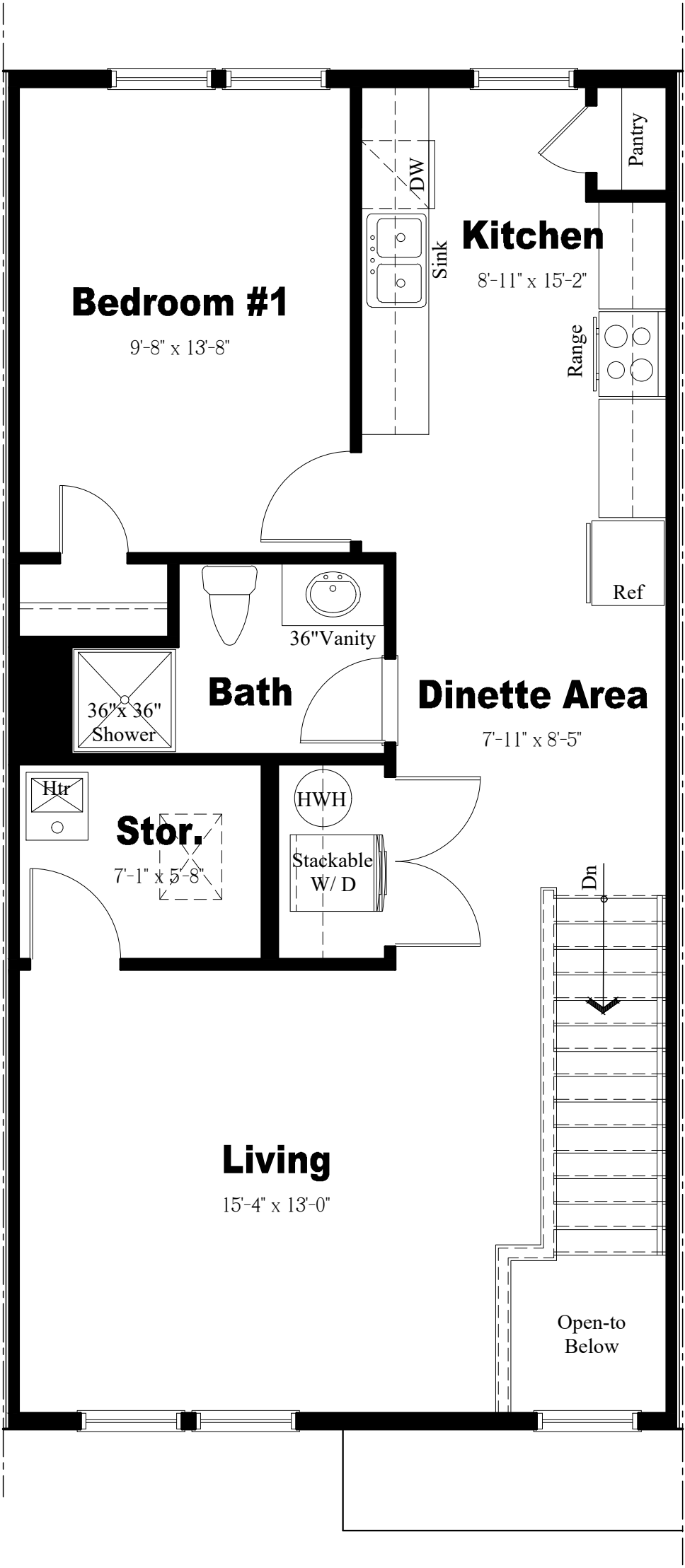


Unit C (2-Bedroom)

Adaptable/ Accessible Unit

First Floor Plan- End Unit

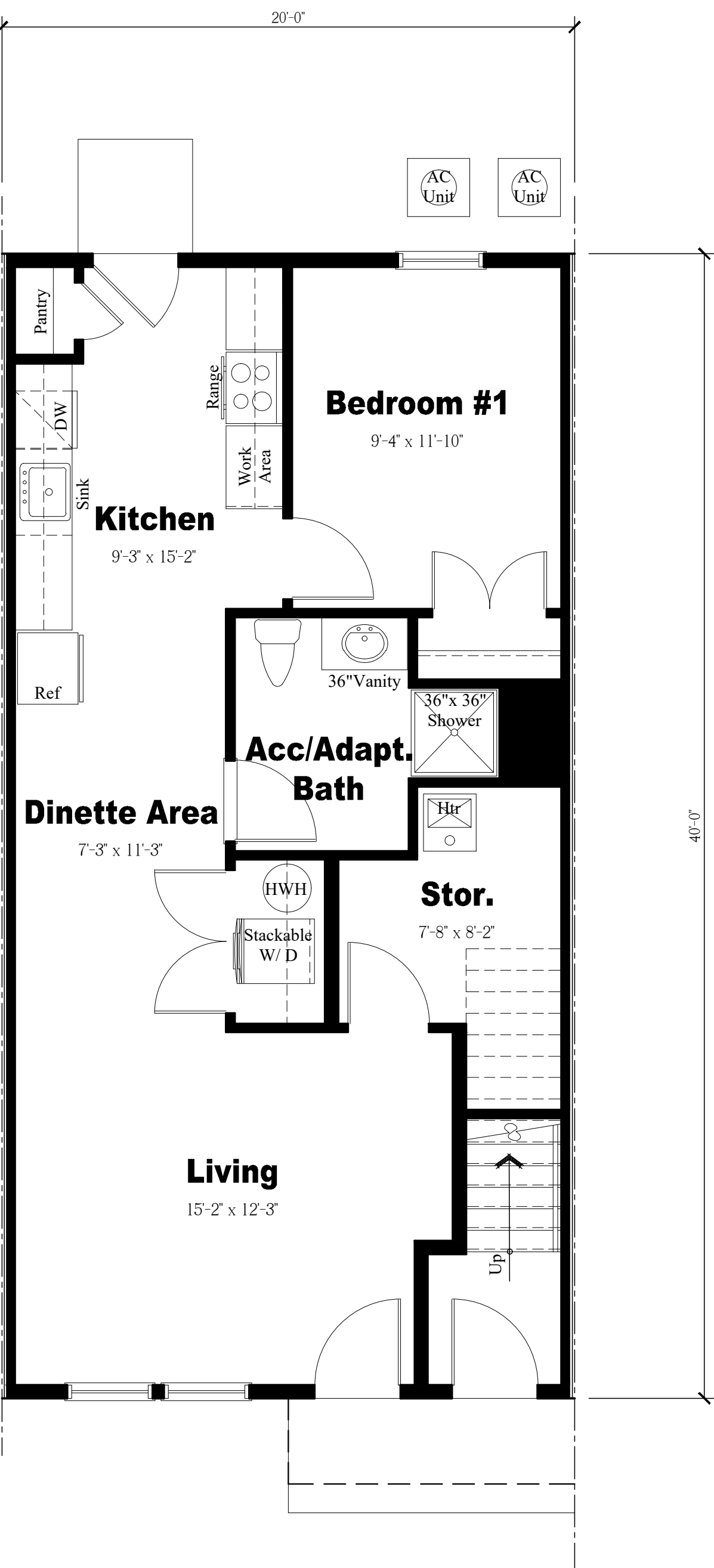
Scale: 1/4" = 1'-0"



Unit B (1-Bedroom)

Second Floor Plan- Interior Unit

Scale: 1/4" = 1'-0"



Unit A (1-Bedroom)

Adaptable/ Accessible Unit

First Floor Plan- Interior Unit

Scale: 1/4" = 1'-0"

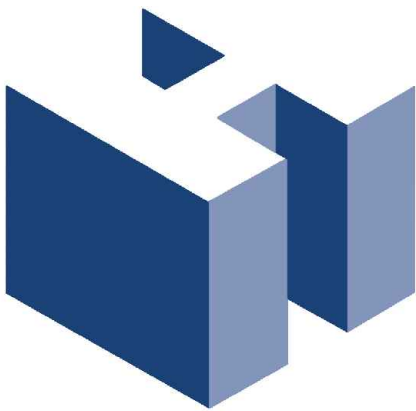
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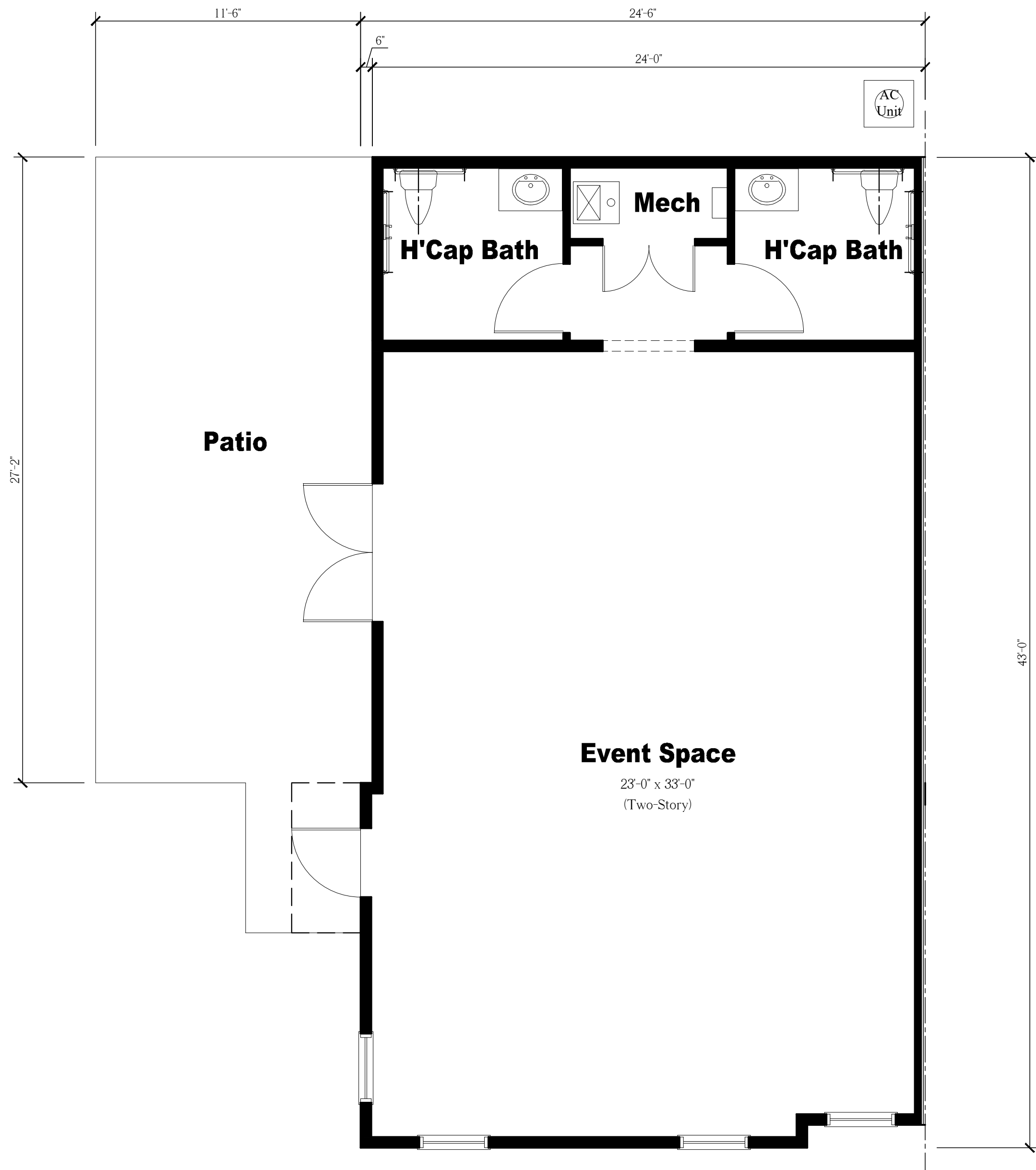
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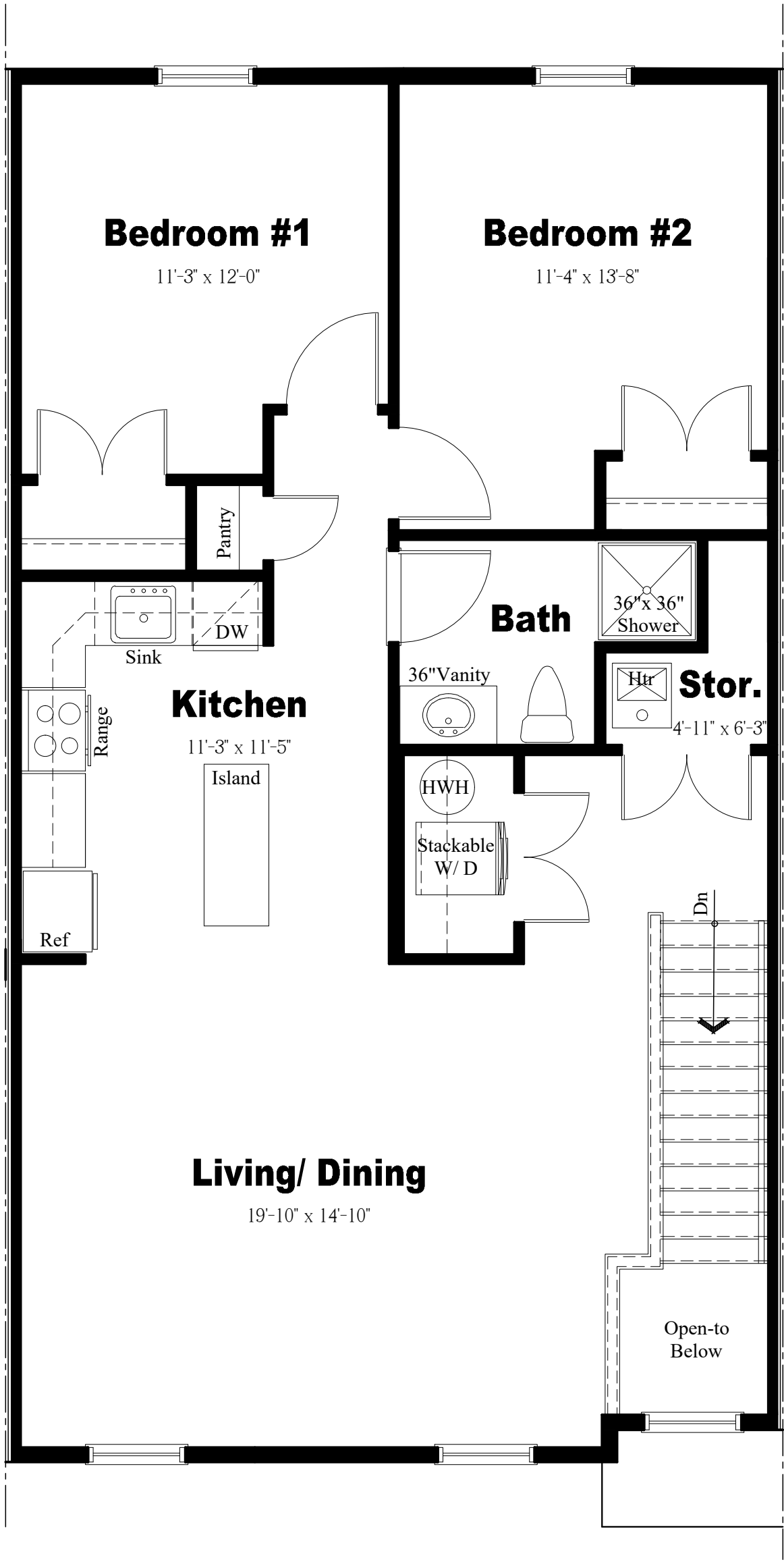
REVISIONS:		SHEET TITLE:	
		Affordable Housing Enlarged Floor Plans	
		SCALE:	AS NOTED
		PROJ. NO.:	LEN-24022
		DATE:	March 14, 2024
		SHEET NO. SK-18	



Event Space

First Floor Plan- End Unit

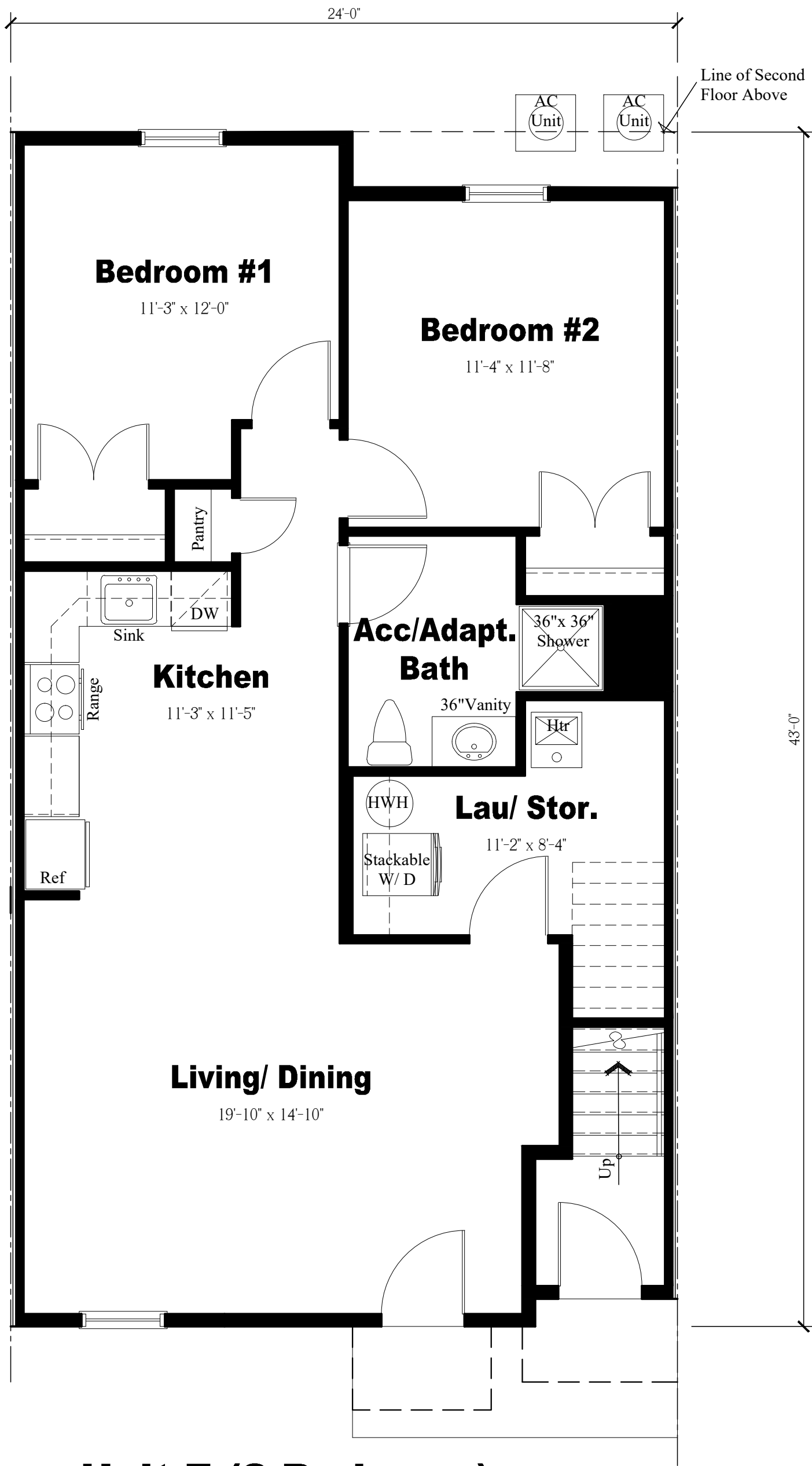
Scale: 1/4" = 1'-0"



Unit F (2-Bedroom)

Second Floor Plan- Interior Unit

Scale: 1/4" = 1'-0"



Unit E (2-Bedroom)

Adaptable/ Accessible Unit

First Floor Plan- Interior Unit

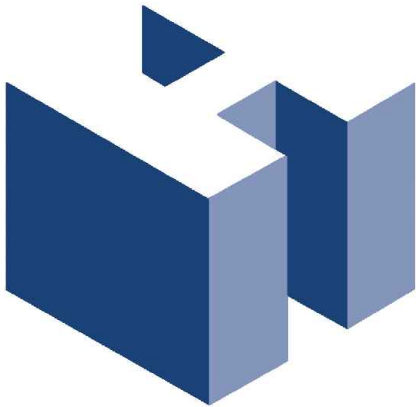
Scale: 1/4" = 1'-0"

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- Notes:**
- 1. All Building Elevations and Plans are a Depiction of a Typical Configuration. Refer to Current Site Plans Provided by Engineer of Record for all Final Grading.
 - 2. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity



Left Side Elevation

Scale: $\frac{3}{16}" = 1'-0"$



Front Elevation

Scale: $\frac{3}{16}" = 1'-0"$

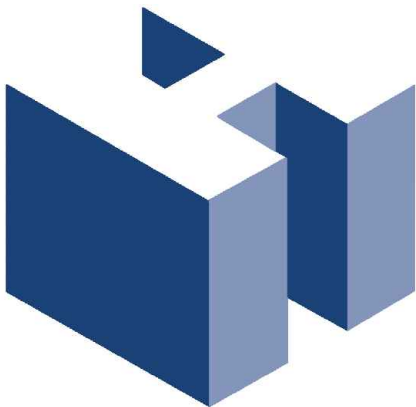
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REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	Clubhouse Elevations	
2	1-10-25	Client Revisions	SHEET NO.	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024

SK-19

- Notes:**
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Right Side Elevation

Scale: $\frac{3}{16}'' = 1'-0''$



Rear Elevation

Scale: $\frac{3}{16}'' = 1'-0''$

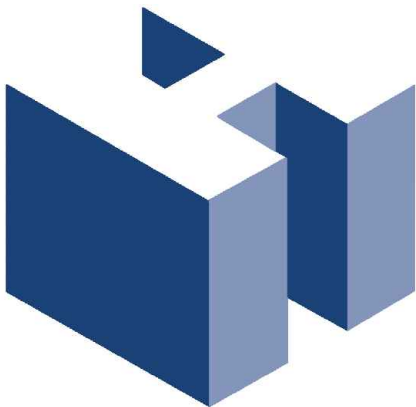
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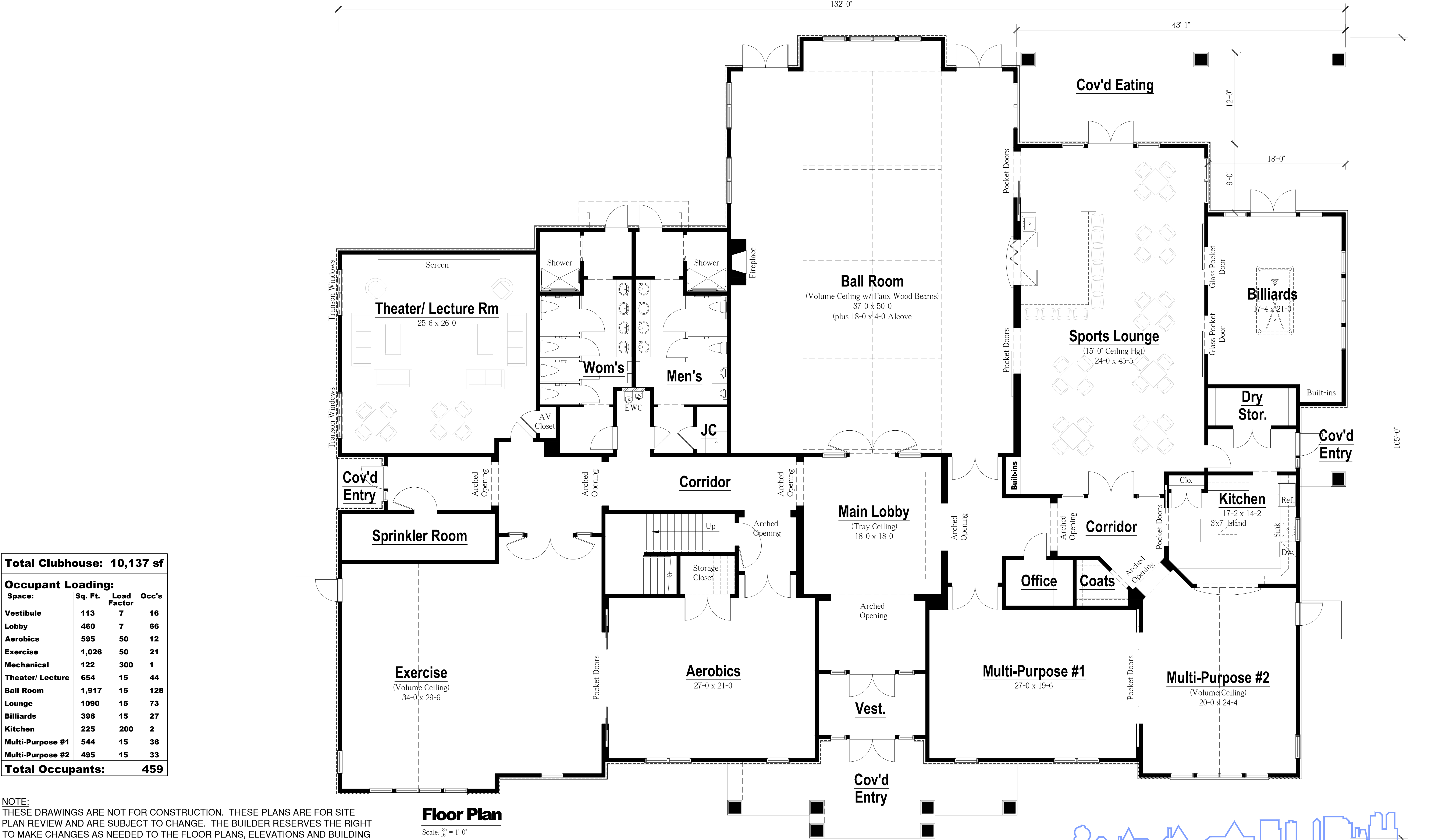
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REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	Clubhouse Elevations	
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			DATE:	March 14, 2024

SHEET NO.

SK-19.1



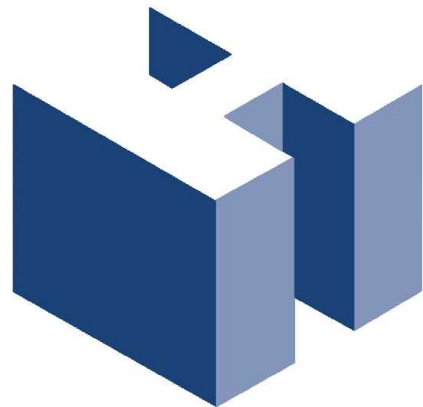
Total Clubhouse: 10,137 sf			
Occupant Loading:			
Space:	Sq. Ft.	Load Factor	Occ's
Vestibule	113	7	16
Lobby	460	7	66
Aerobics	595	50	12
Exercise	1,026	50	21
Mechanical	122	300	1
Theater/ Lecture	654	15	44
Ball Room	1,917	15	128
Lounge	1090	15	73
Billiards	398	15	27
Kitchen	225	200	2
Multi-Purpose #1	544	15	36
Multi-Purpose #2	495	15	33
Total Occupants:			459

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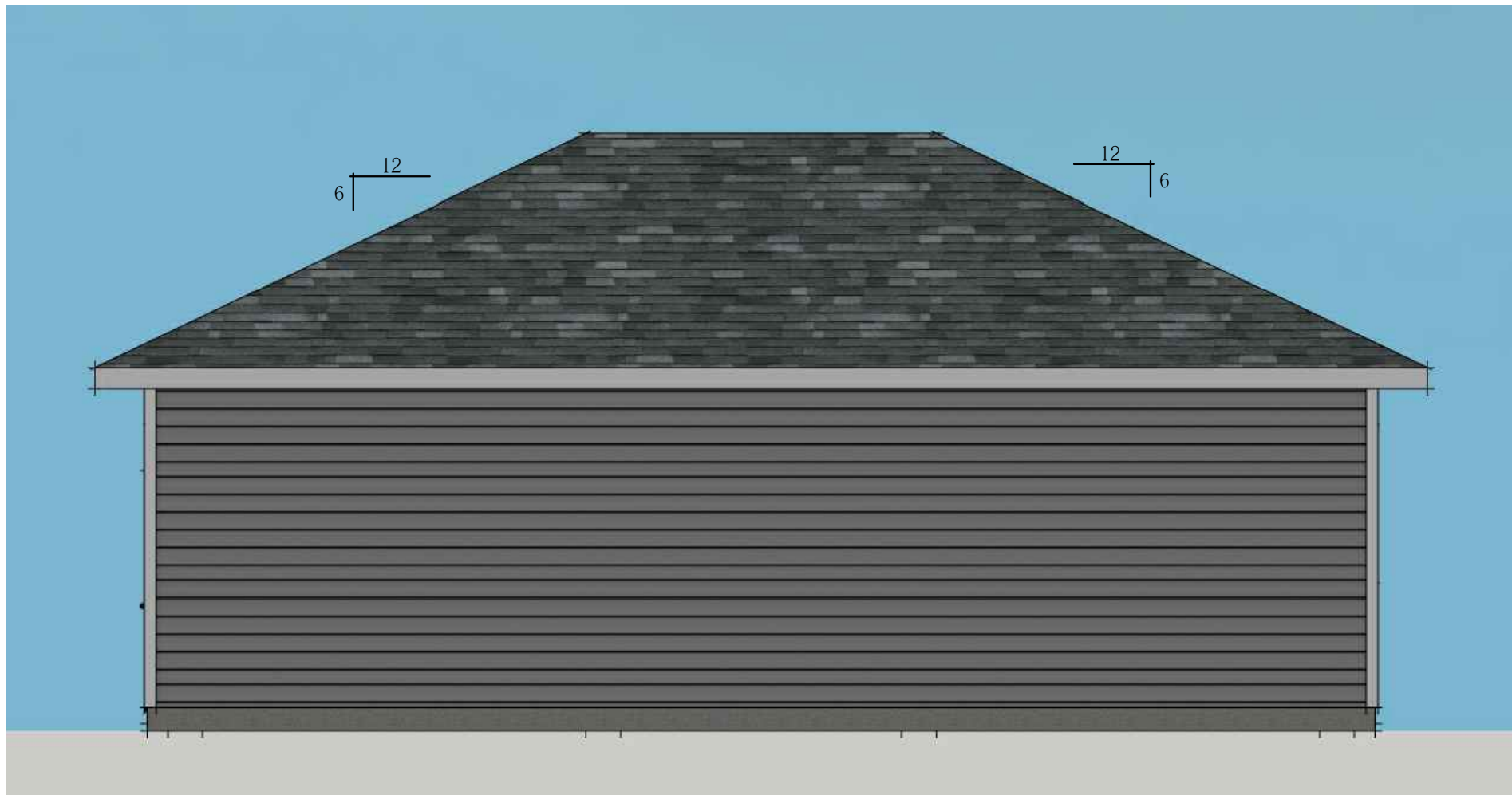
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REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	Clubhouse Floor Plan	
2	1-10-25	Client Revisions		
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
				SHEET NO. SK-20

Pool Cabana



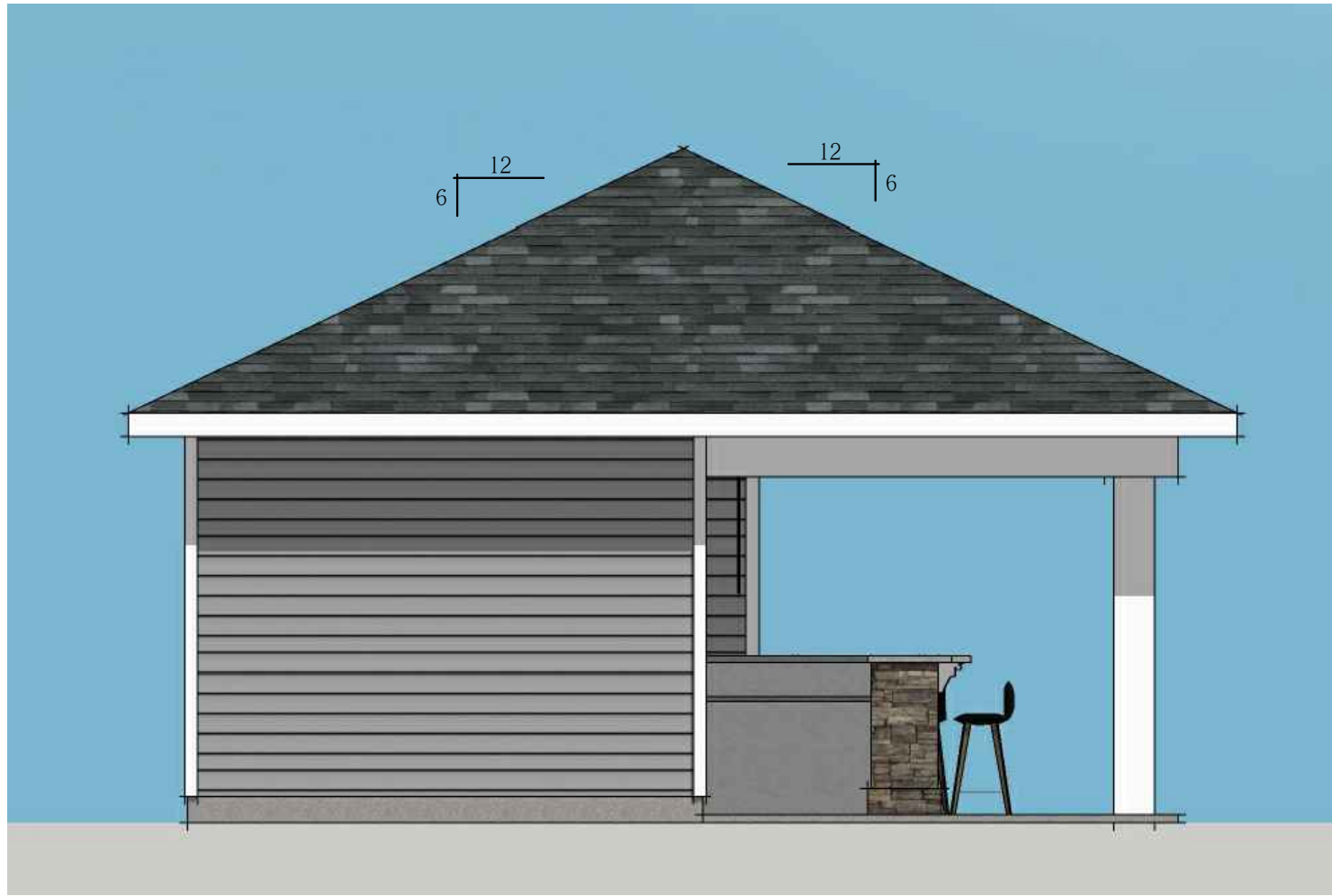
Rear Elevation

Scale: 1/4" = 1'-0"



Right Elevation

Scale: 1/4" = 1'-0"



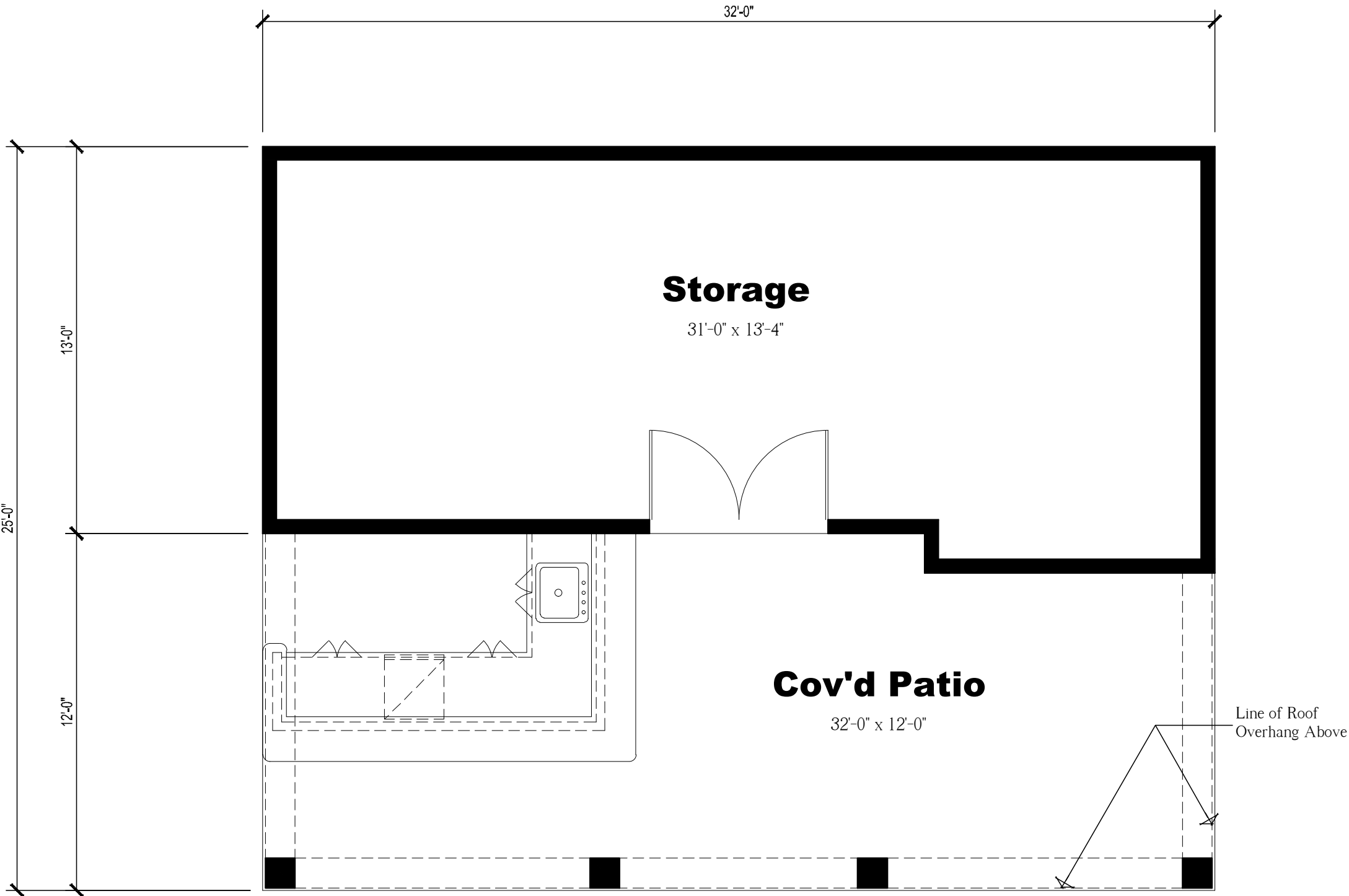
Left Elevation

Scale: 1/4" = 1'-0"



Front Elevation

Scale: 1/4" = 1'-0"



Floor Plan

Scale: 1/4" = 1'-0"

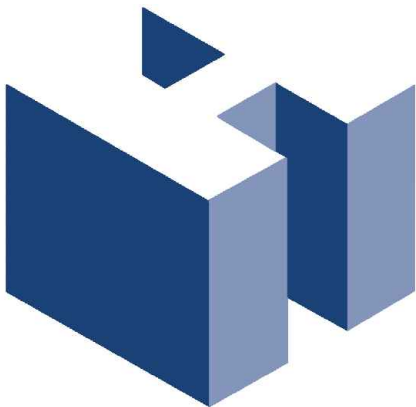
Area Calculations	
Total Area:	428 sq ft

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REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	Clubhouse Floor Plan & Elevations	
2	1-10-25	Client Revisions		
			SHEET NO.	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SK-21	