



**TOWNSHIP of HOPEWELL
MERCER COUNTY**

**201 WASHINGTON CROSSING – PENNINGTON ROAD
TITUSVILLE, NEW JERSEY 08560-1410**

PROJECT / APPLICATION

BLOCK:

LOT:

ADDRESS:

PROJECT NAME:

**ARCHITECTURAL PLANS
1/10/25**

Venue at Deer Valley

Block 93 Lot 5.01 and Block 93 Portion of Lots 5.02 and 6.02
Township of Hopewell, Mercer County, NJ



Typical Exterior Details

Scale: $\frac{1}{2}'' = 1'-0''$

Clubhouse



Typical Deck/ Balcony Details

Scale: $\frac{1}{2}'' = 1'-0''$

Residential

Note:

1. Due to Rendering Styles Shown, Some Line work may Show Items Depicted as Varying in Color. For Clarity, Enlarged Details have Been Provided to Show More Precise Details and Scale

NOTE:
THESE DRAWINGS ARE NOT FOR CONSTRUCTION. THESE PLANS ARE FOR SITE PLAN REVIEW AND ARE SUBJECT TO CHANGE. THE BUILDER RESERVES THE RIGHT TO MAKE CHANGES AS NEEDED TO THE FLOOR PLANS, ELEVATIONS AND BUILDING MATERIALS, INCLUDING ROOM SIZES AND LOCATION OF ROOMS.

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Venue at Deer Valley
Hopewell Township
Mercer County, New Jersey



Typical Exterior Details

Scale: $\frac{1}{2}'' = 1'-0''$

Residential

Notes:

1. Colors and tones will vary based on available color packages offered, market conditions, availability of materials and color gradations in materials.
2. All Landscaping shown is for presentation purposes. Refer to current Civil Engineers Drawings for Landscape Plans

Exterior Lighting Specification

GENERATION LIGHTING

84158DEN3-12: One Light Outdoor Wall Lantern



Dimensions:
Width: 7" Height: 17" Extends: 8"
Wire: 6 1/2" (color/Black/White)
Mounting Proc.: Cap Nuts
Connection: Mounted To Box
Watts: 9 Lumens: 800

Bulbs:
1 - LED Medium A19 9w Max, 120v - included

Features:
• ENERGY STAR® Qualified
• Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
• LED Bulbs are an efficient, versatile and durable light source that deliver exceptional performance.
• UL Listed. Title 24 energy efficiency standards.
• Title 24 compliant when used with included Joint Appendix (JA8) approved lamp.

Material List:
1 Body - Aluminum - Undefined
4 Reflector - Aluminum - Undefined

Safety Listing:
Safety Listed for Wet Locations

Instruction Sheets:
English (HC-231)
French (F-009)

Collection: Jamestown

Dark Sky One Light LED Outdoor Wall Lantern Finished in Black Solid Brass with Etched White Tiffany Glass and White Aluminum Panels.

Featured in the decorative Jamestowne collection

1 A19 Medium 9.3 watt light bulb

Fixture is supplied with 1 light bulb

Etched white tiffany glass panels and white aluminum panels

ENERGY STAR® Qualified

UPC #: 785652046087

Finish: Black (12)

Note:

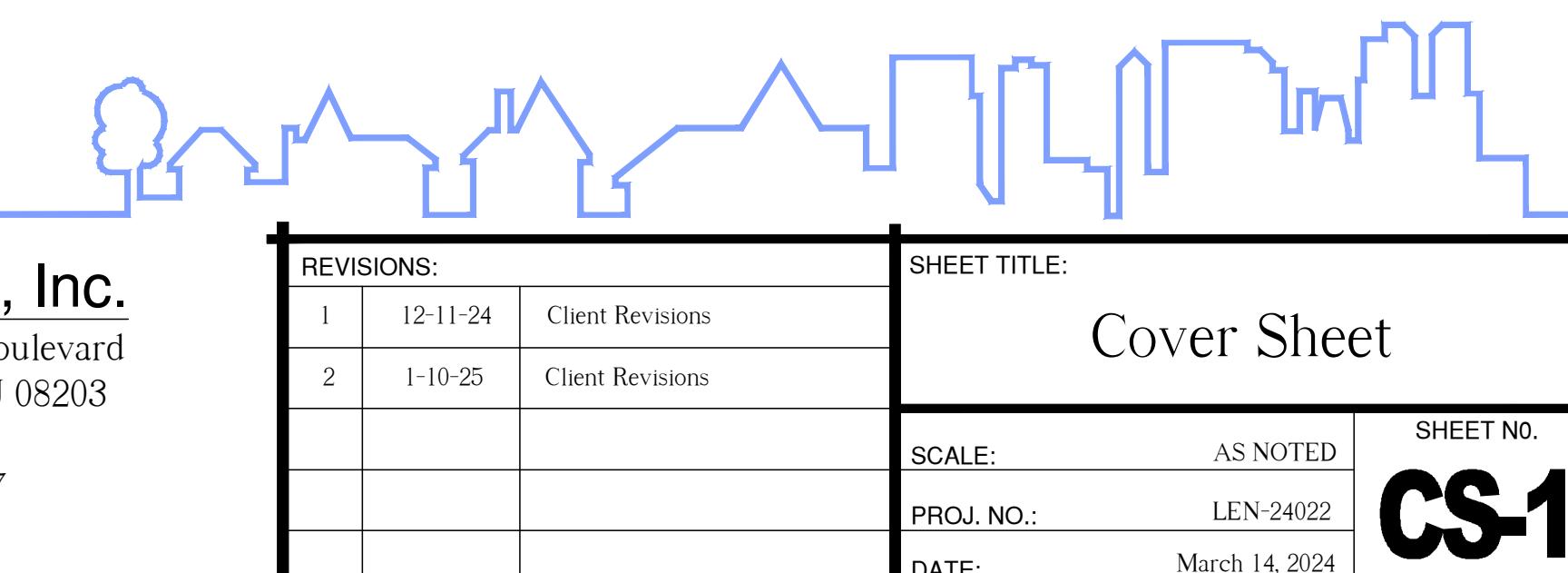
The Exterior Lighting Spec Shown is a Typical Selection to be Used and is Subject to Change with Market Conditions and Availability. All Exterior Lighting to be in Conformance with the SmartCode.

Area Calculations

Model/ Unit	Square Footages
Active Adult Single Family, Apollo Model	First Floor: 1,920 sq ft Second Floor: 532 sq ft Total Living: 2,452 sq ft 2-Car Garage: 430 sq ft
Active Adult Single Family, Belmont Model	First Floor: 2,138 sq ft Second Floor: 775 sq ft Total Living: 2,913 sq ft 2-Car Garage: 407 sq ft
Active Adult Single Family, Capri Model	First Floor: 1,853 sq ft Second Floor: 878 sq ft Total Living: 2,731 sq ft 2-Car Garage: 535 sq ft
Active Adult Single Family, Davenport Model	First Floor: 1,838 sq ft 2-Car Garage: 411 sq ft
Active Adult Single Family, Seville Model	First Floor: 1,925 sq ft Second Floor: 585 sq ft Total Living: 2,510 sq ft 2-Car Garage: 407 sq ft
Duplex, Astor Model	First Floor: 1,554 sq ft Second Floor: 554 sq ft Total Living: 2,108 sq ft 1-Car Garage: 282 sq ft
Duplex, Beacon Model	First Floor: 1,573 sq ft Second Floor: 538 sq ft Total Living: 2,111 sq ft 1-Car Garage: 279 sq ft
10-Plex Condo Building	Total Living: 1,527 sq ft Balcony/ Mech.: 102 sq ft
Unit A	Total Living: 1,631 sq ft Balcony/ Mech.: 105 sq ft
Unit B	Total Living: 1,631 sq ft Balcony/ Mech.: 105 sq ft
Affordable Housing	Please see sheets for Square Footage
Clubhouse	Total Area: 10,137 sq ft
Pool Cabana	Total Area: 428 sq ft

Index of Drawings

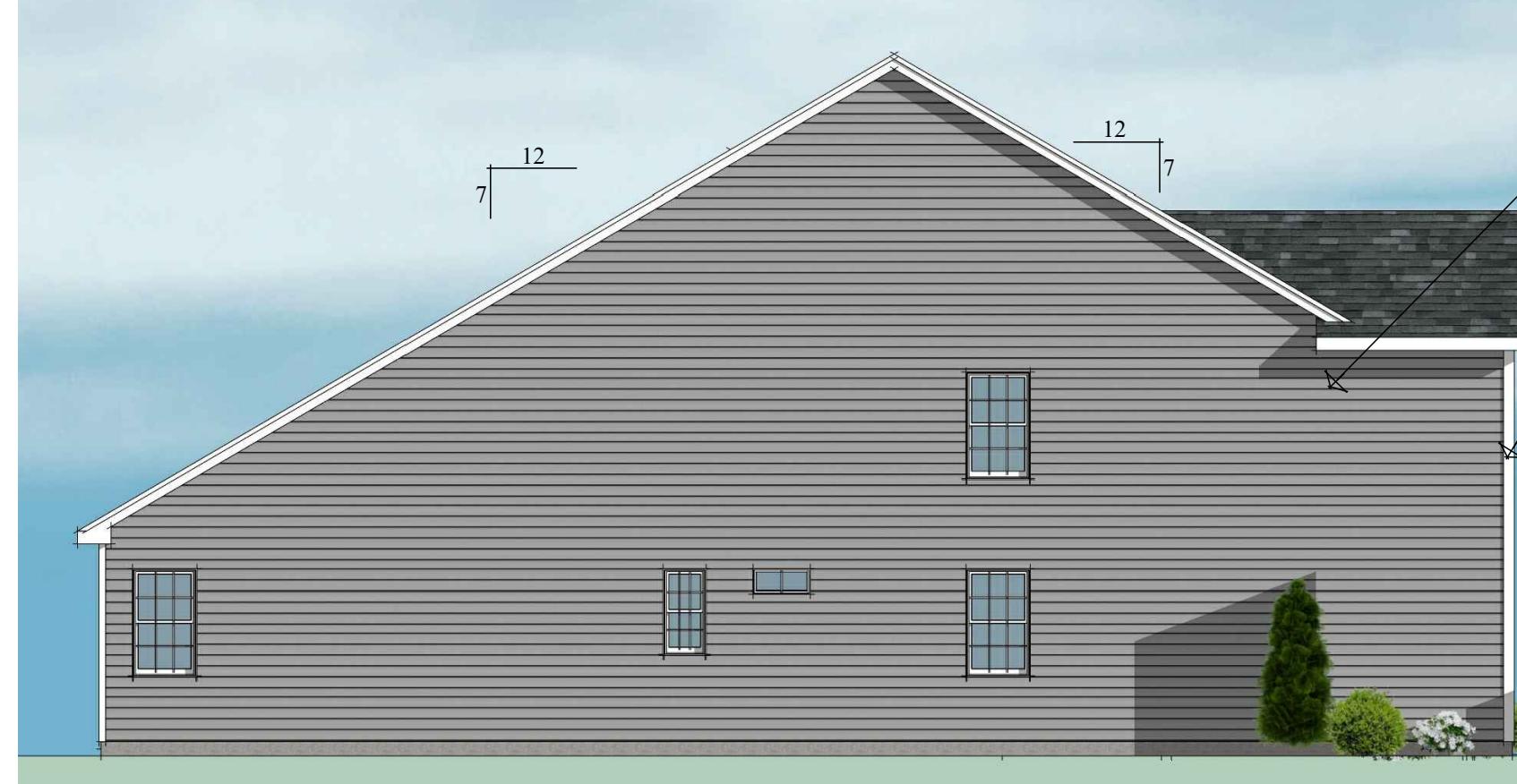
Sht #	Rev #	Description
CS-1		Cover Sheet
SK-1		Active Adult Single Family, Apollo Model Apollo Model - Elevations
SK-2		Apollo Model - Floor Plans
SK-3		Active Adult Single Family, Belmont Model Belmont Model - Front Elevations
SK-3.1		Belmont Model - Sides and Rear Elevations
SK-4		Belmont Model - First Floor Plans
SK-4.1		Belmont Model - Second Floor Plans
SK-5		Active Adult Single Family, Capri Model Capri Model - Elevations
SK-6		Capri Model - First Floor Plans
SK-6.1		Capri Model - Second Floor Plans
SK-7		Active Adult Single Family, Davenport Model Davenport Model - Elevations
SK-8		Davenport Model - First Floor Plans
SK-9		Active Adult Single Family, Seville Model Seville Model - Elevations
SK-10		Seville Model - First Floor Plans
SK-10.1		Seville Model - Second Floor Plan
SK-11		Duplex, Astor-Beacon Model Astor-Beacon Model - Elevations
SK-12		Astor-Beacon Model - First Floor Plans
SK-12.1		Astor-Beacon Model - Second Floor Plans
SK-13		10-Plex Condominium Building 10-Plex Condo Building - Elevations
SK-13.1		10-Plex Condo Building - Elevations
SK-14		10-Plex Condo Building - OA First Floor Plan
SK-14.1		10-Plex Condo Building - OA Second & Third Floor Plan
SK-15		10-Plex Condo Building - Enlarged Unit Plans
SK-16		Supportive Housing Affordable Housing - 10-Unit Building Elevations
SK-16.1		Affordable Housing - 10-Unit Overall Bldg Floor Plans
SK-17		Affordable Housing - 12-Unit Building Elevations
SK-17.1		Affordable Housing - 12-Unit Overall Bldg Floor Plans
SK-18		Affordable Housing - Enlarged Floor Plans
SK-18.1		Affordable Housing - Enlarged Floor Plans
SK-19		Clubhouse Clubhouse - Elevations
SK-19.1		Clubhouse - Elevations
SK-20		Clubhouse - Floor Plan
SK-21		Pool Cabana Pool Cabana - Floor Plan & Elevations



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609.953.5373 FAX: 609.953.5737

Notes:

- All Building Elevations and Plans are a Depiction of a Typical Configuration. Refer to Current Site Plans Provided by Engineer of Record for all Final Grading.
- Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

**Left Elevation**

Scale: 1/8" = 1'-0" (Elevation A Shown)

**Rear Elevation**

Scale: 1/8" = 1'-0" (Elevation A Shown)

**Right Elevation**

Scale: 1/8" = 1'-0" (Elevation A Shown)

**Elevation E**

Scale: 1/4" = 1'-0"

**Elevation A**

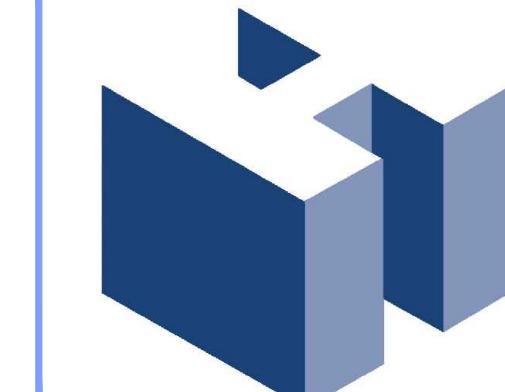
Scale: 1/4" = 1'-0"

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REVISIONS:

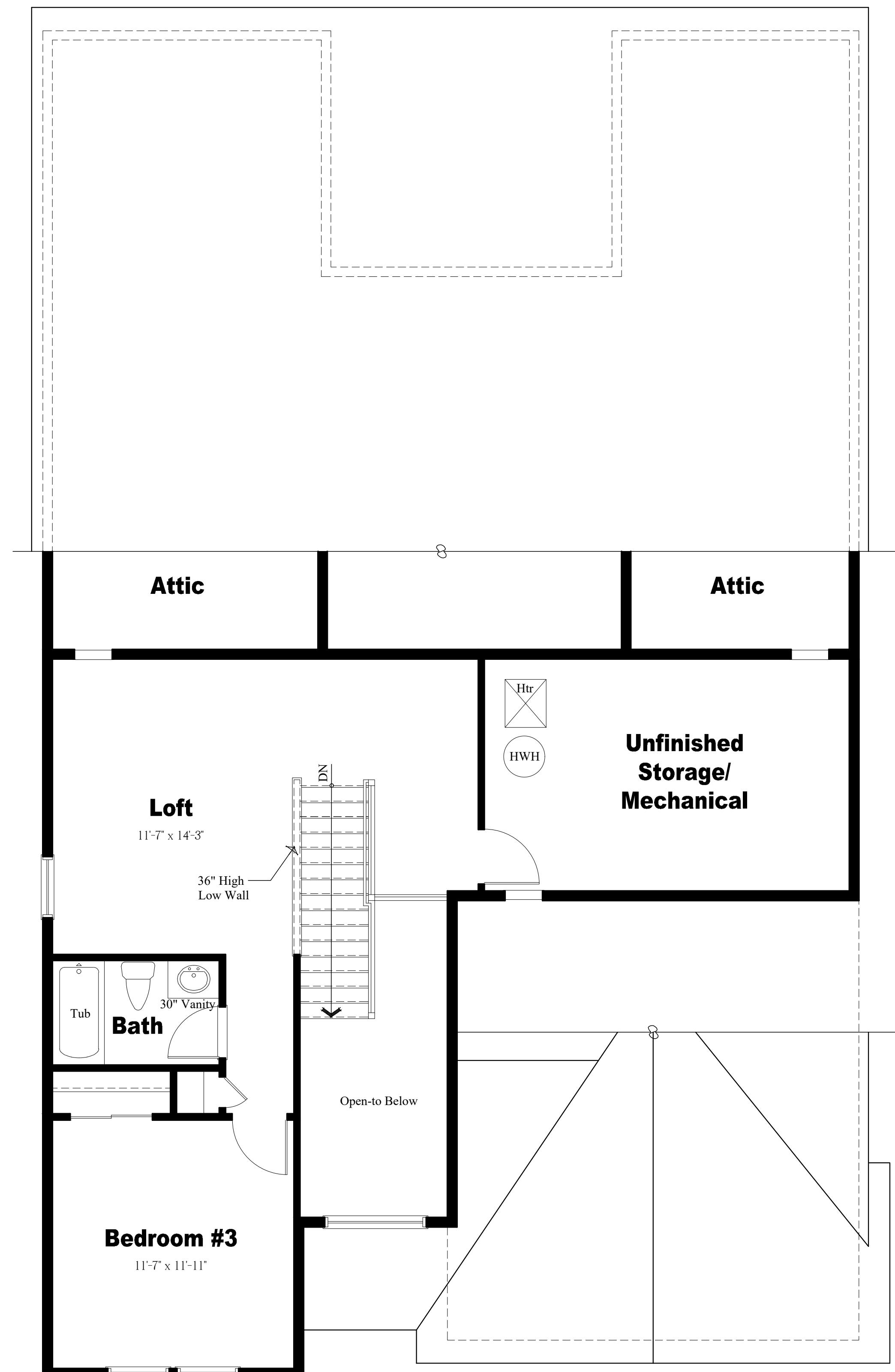
SHEET TITLE: Active Adult Single Family Apollo Elevations

SCALE: AS NOTED

PROJ. NO.: LEN-24022

DATE: March 14, 2024

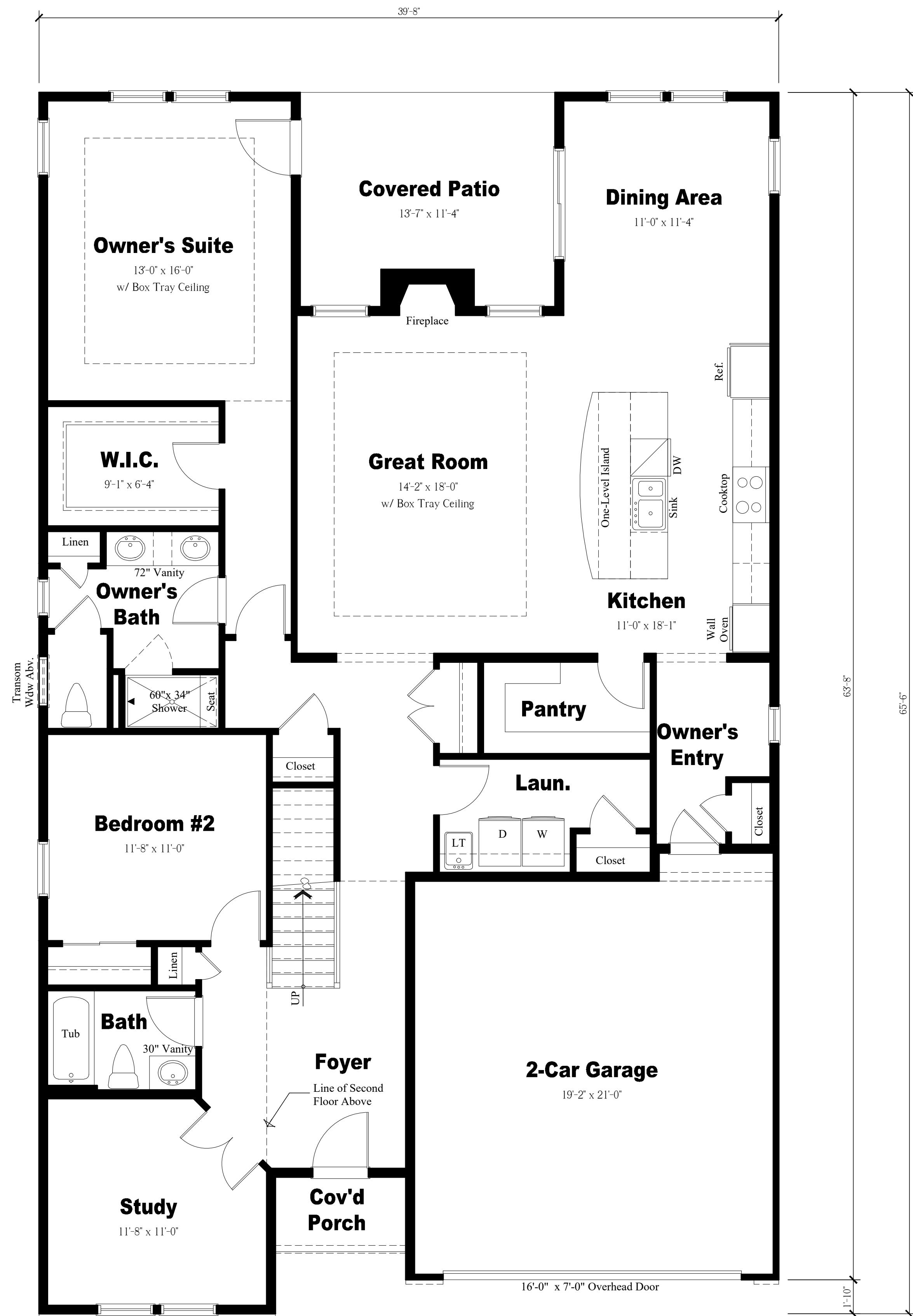
SHEET NO. **SK-1**



Elevation A (Elevation E Similar)

Second Floor Plan

Scale: $\frac{1}{4}'' = 1'-0''$



Elevation A (Elevation E Similar)

First Floor Plan

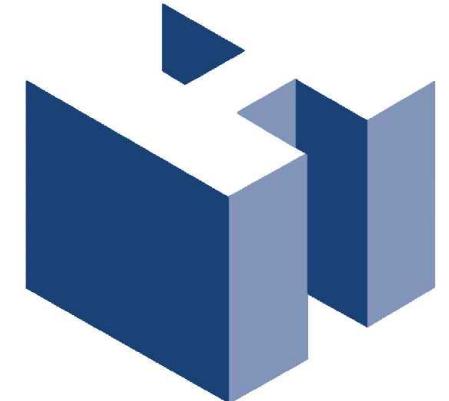
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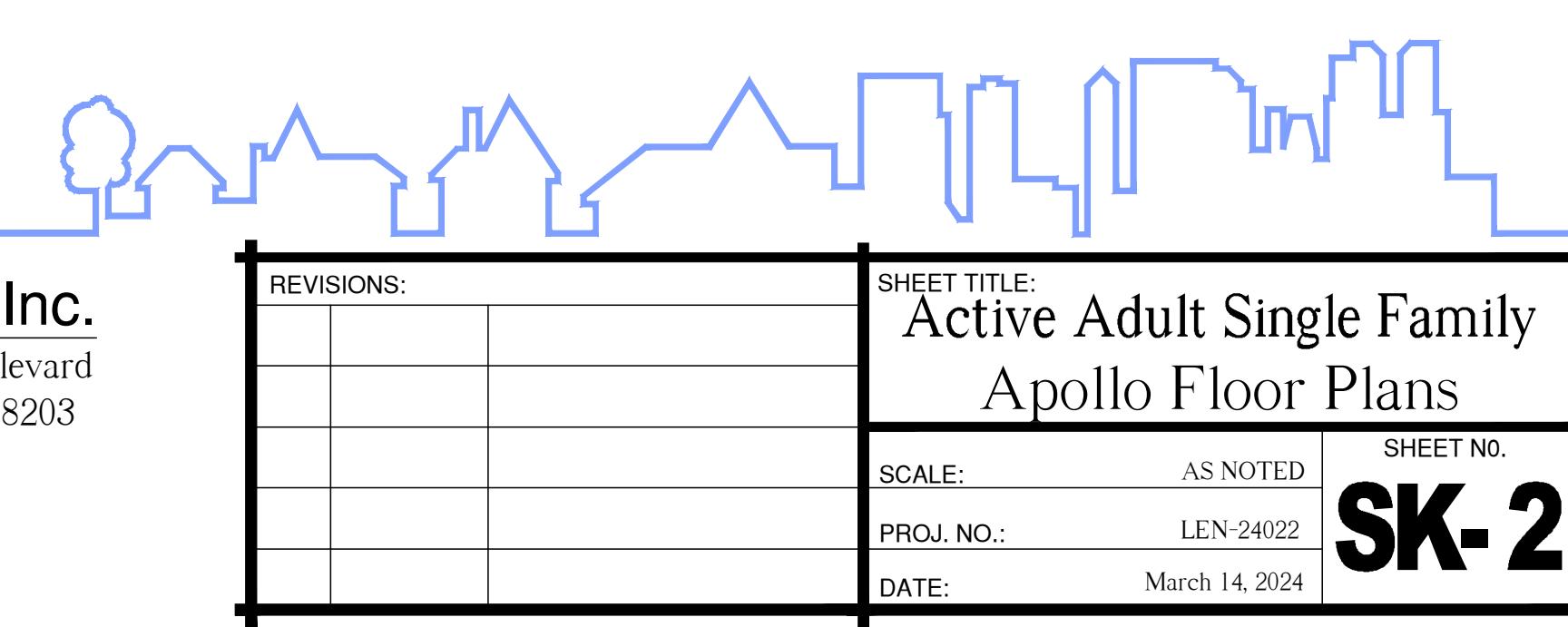
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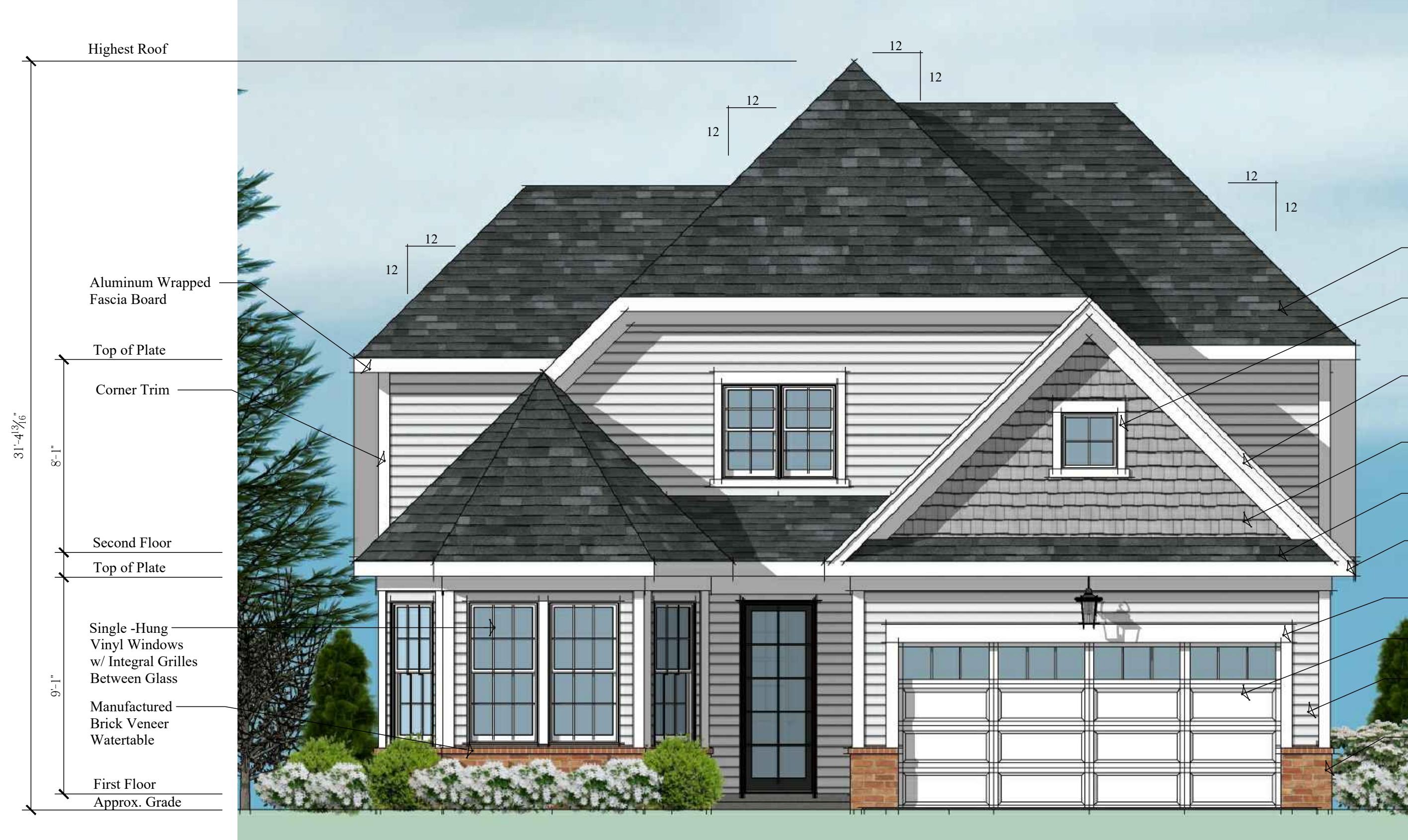
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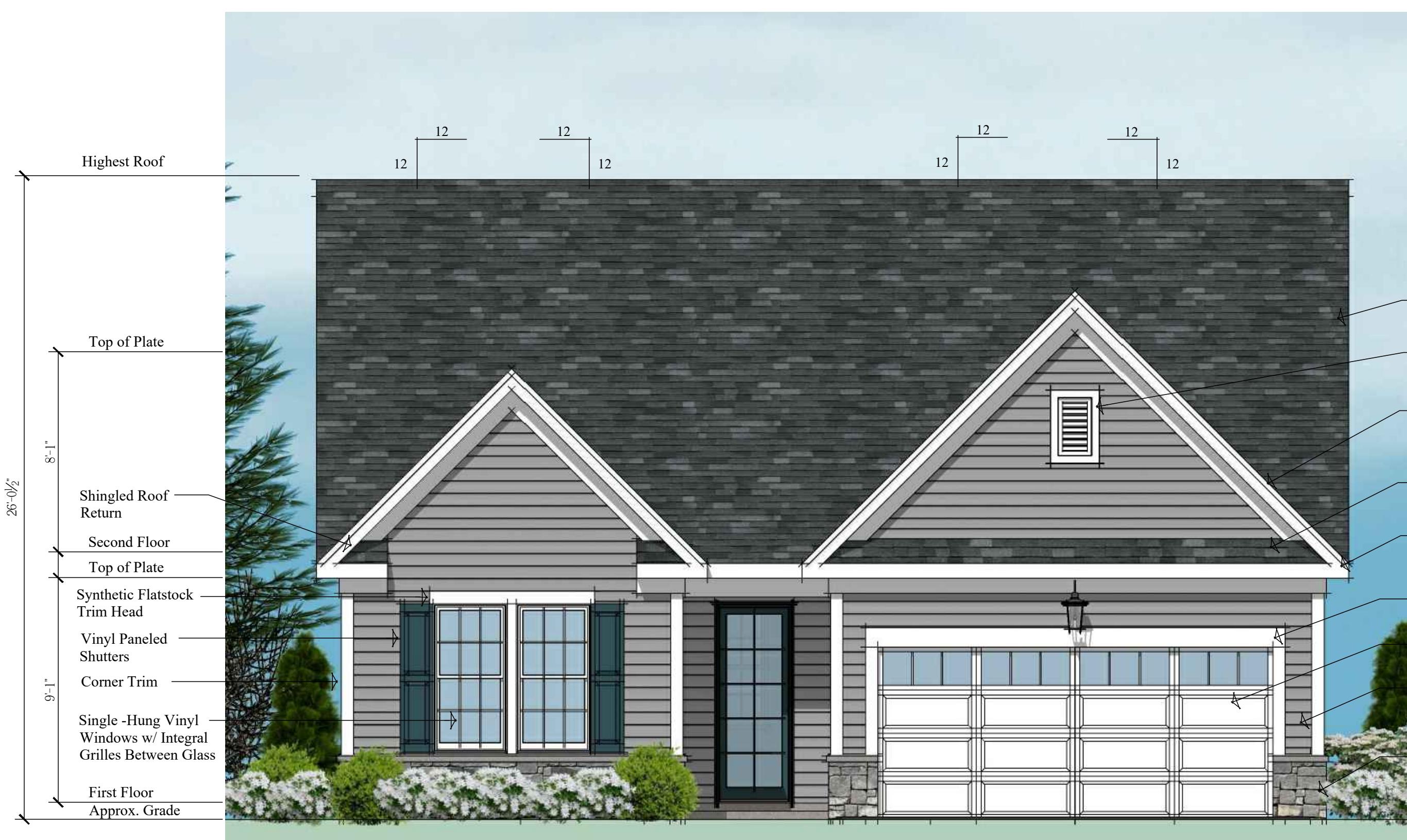
Elevation C

Scale: $\frac{1}{4}'' = 1'-0''$



Elevation B

Scale: $\frac{1}{4}'' = 1'-0''$



Elevation A

Scale: $\frac{1}{4}'' = 1'-0''$

Notes:

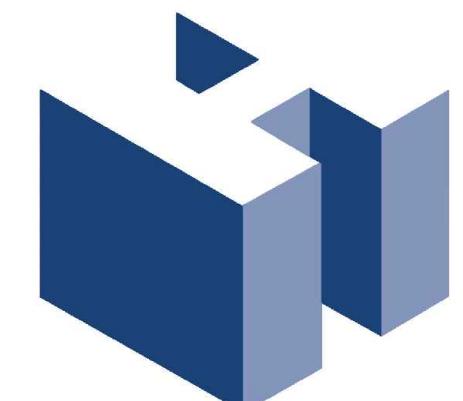
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REVISIONS:	SHEET TITLE:		
Active Adult Single Family Belmont Front Elevations			
SCALE:	AS NOTED		
PROJ. NO.:	LEN-24022	DATE:	March 14, 2024
			SHEET NO. SK-3



Left Elevation

Scale: 1/8" = 1'-0" (Elevation A Shown)



Rear Elevation

Scale: 1/8" = 1'-0" (Elevation A Shown)



Right Elevation

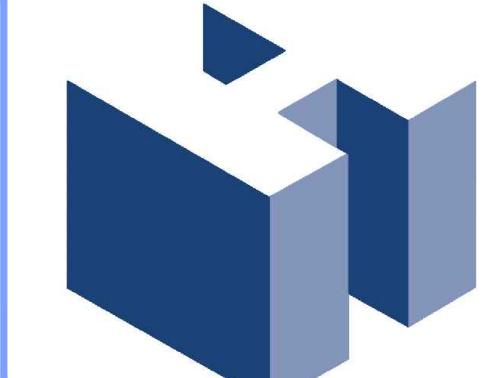
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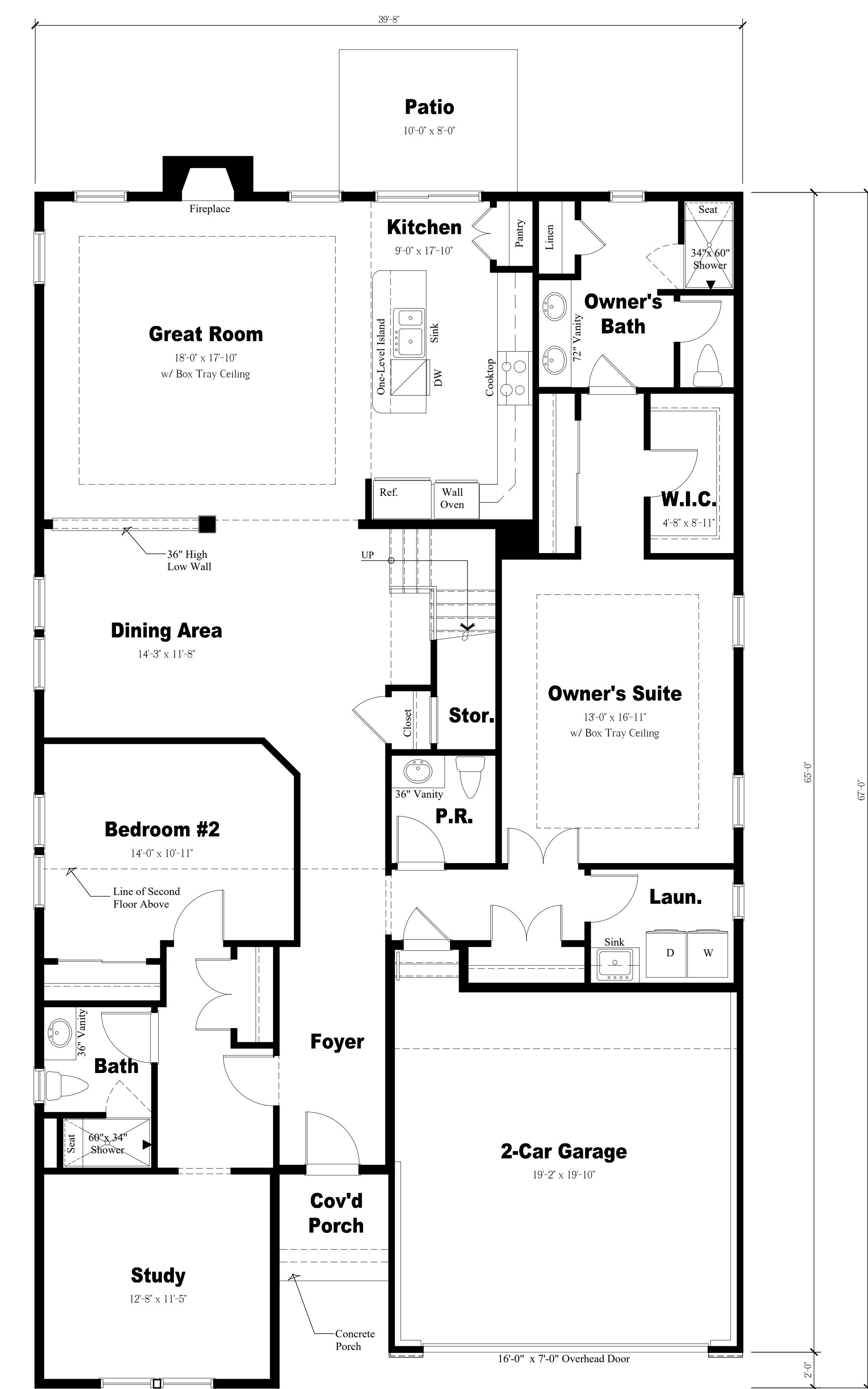
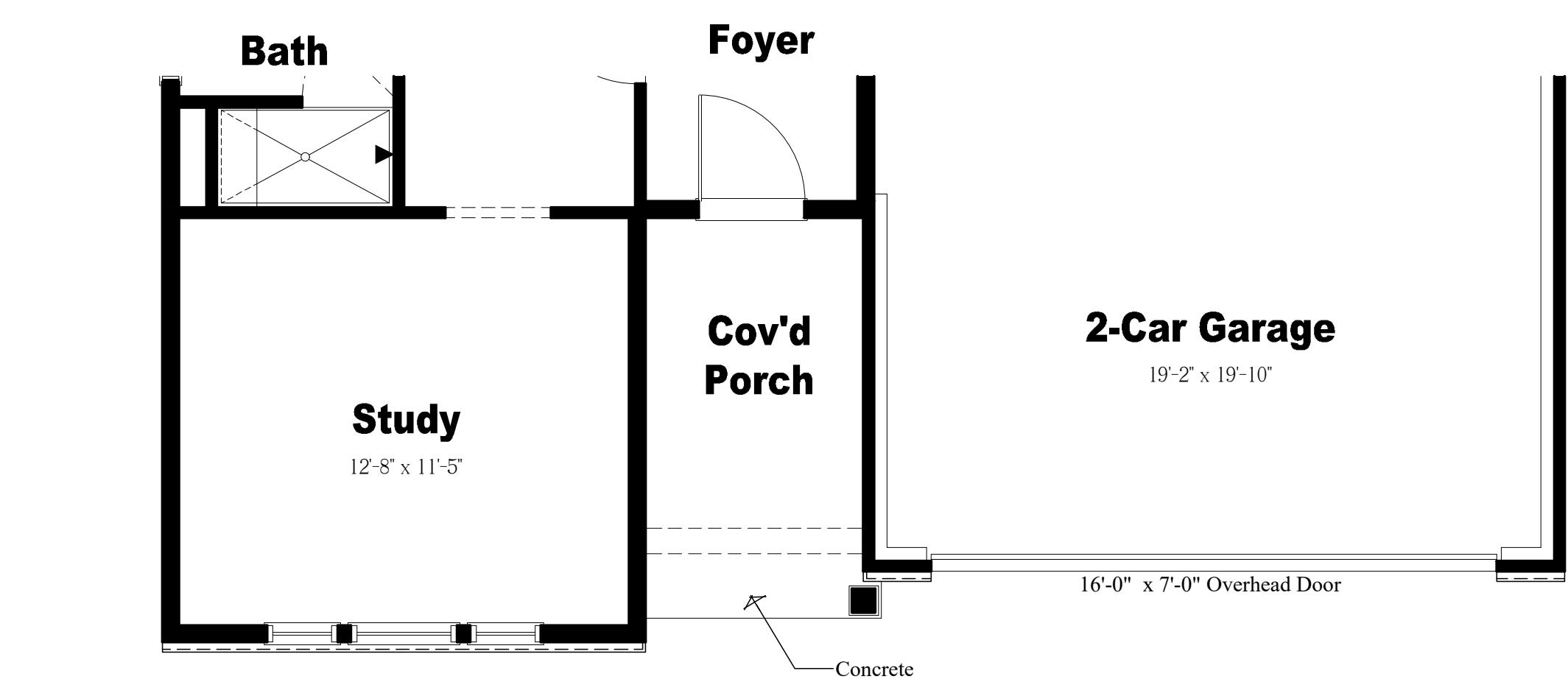
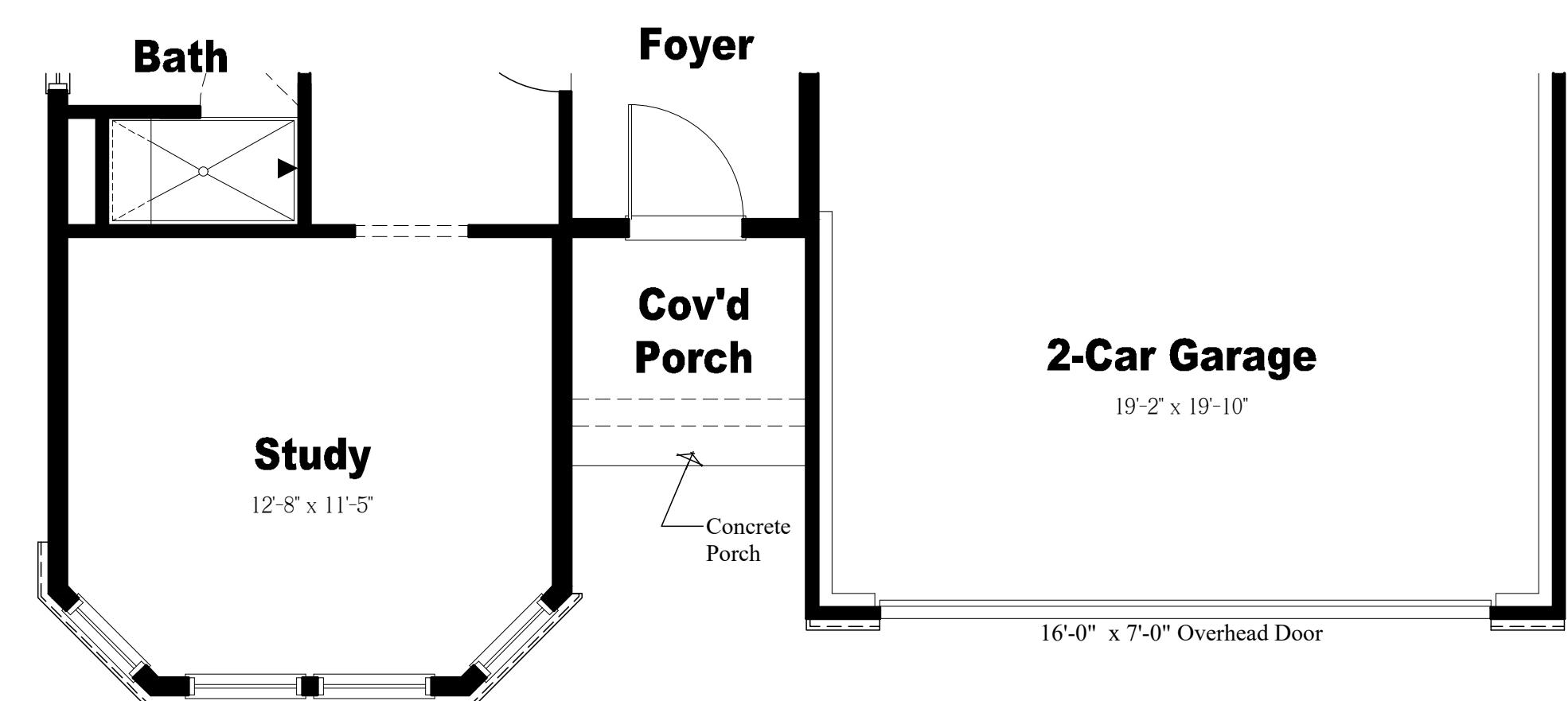


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LINE DRAWING OF A HILL OR MOUNTAIN PEAK IN THE BOTTOM RIGHT CORNER.

REVISIONS:	SHEET TITLE:	
	Active Adult Single Family	
	Belmont Elevations	
	SCALE:	AS NOTED
	PROJ. NO.:	LEN-24022
	DATE:	March 14, 2024

SHEET NO. **SK-3.1**



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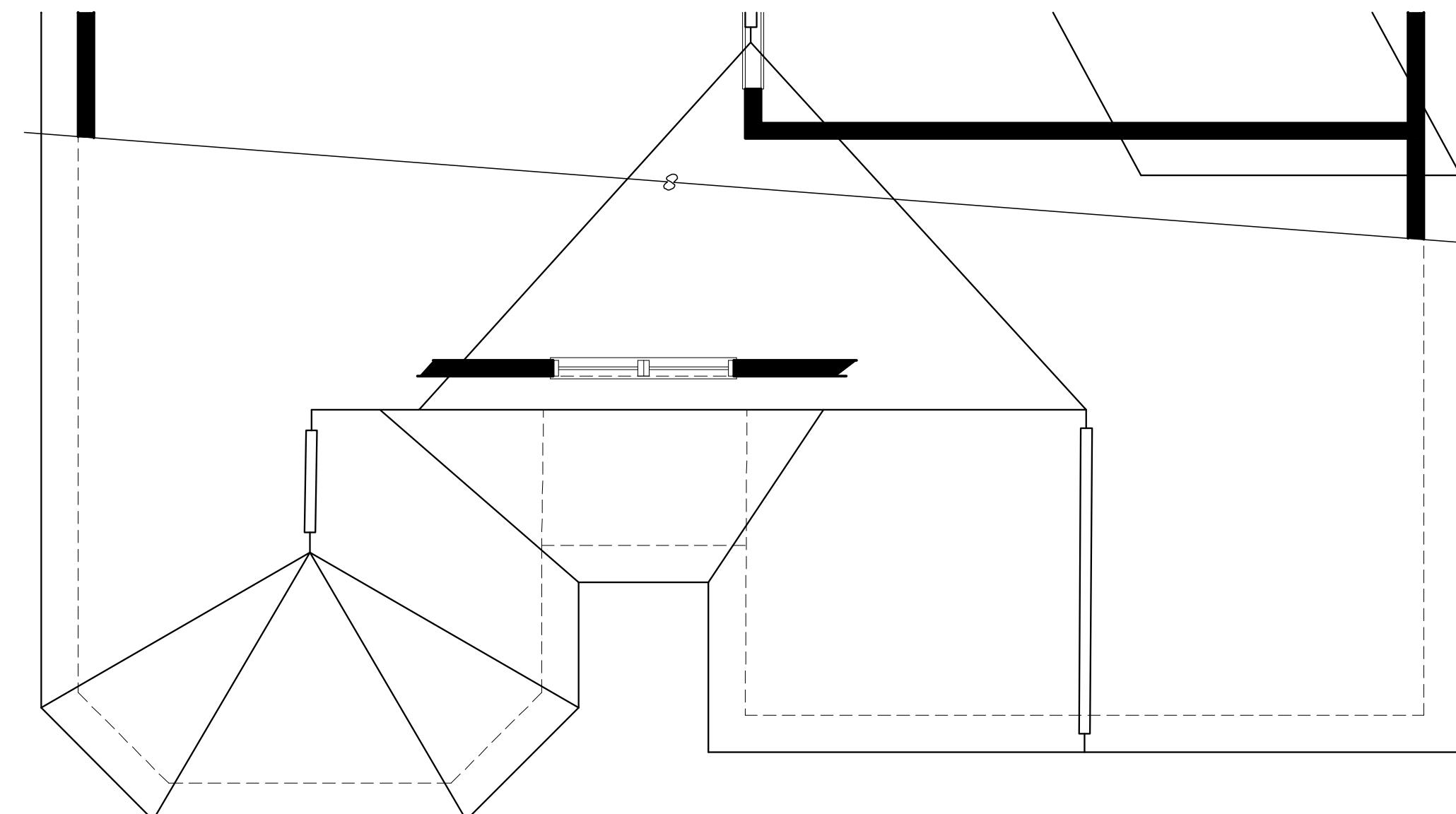
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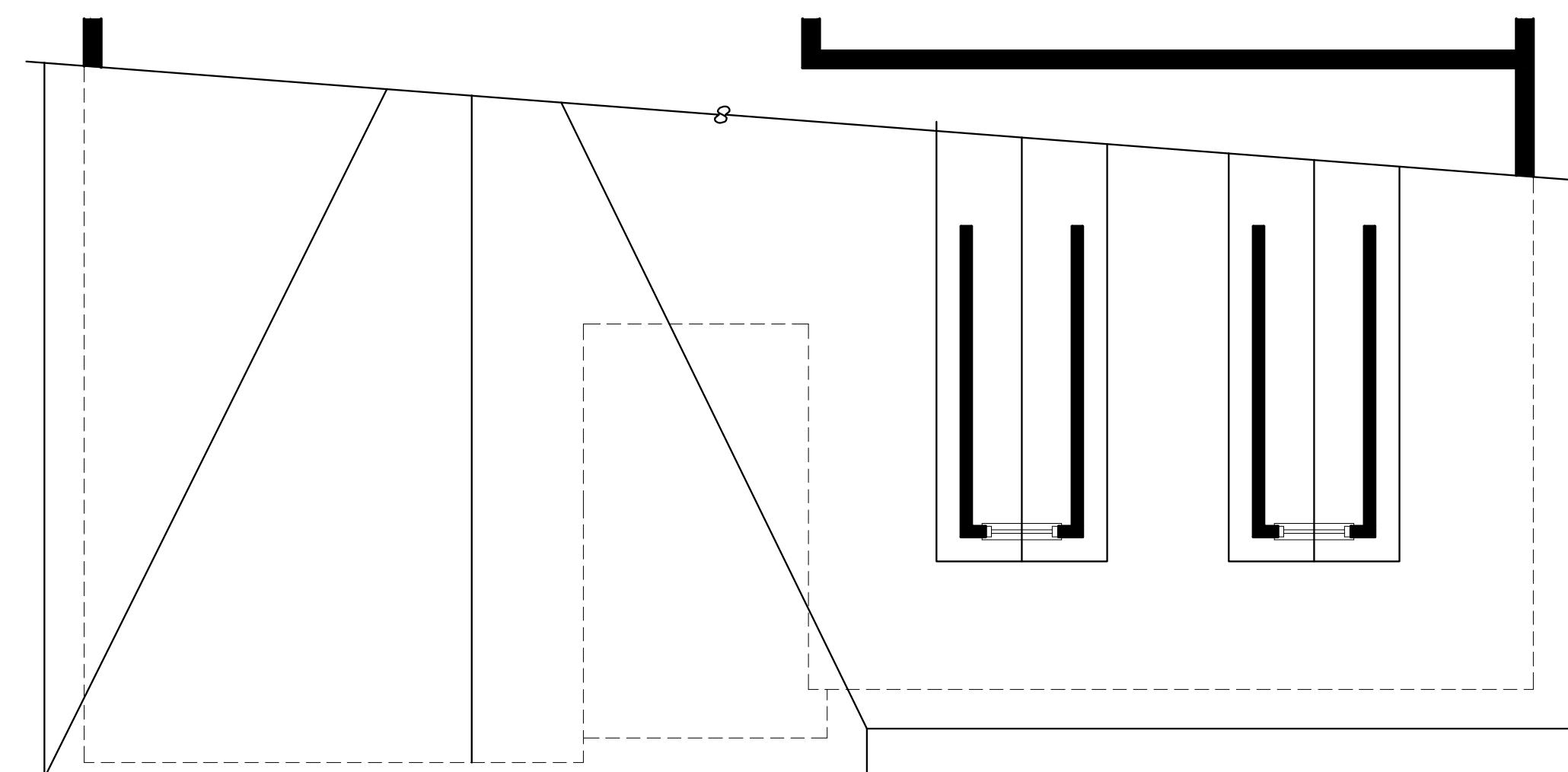
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REVISIONS:
SHEET TITLE: Active Adult Single Family
Belmont Floor Plans
SCALE: AS NOTED
PROJ. NO.: LEN-24022
DATE: March 14, 2024
SHEET NO. **SK-4**



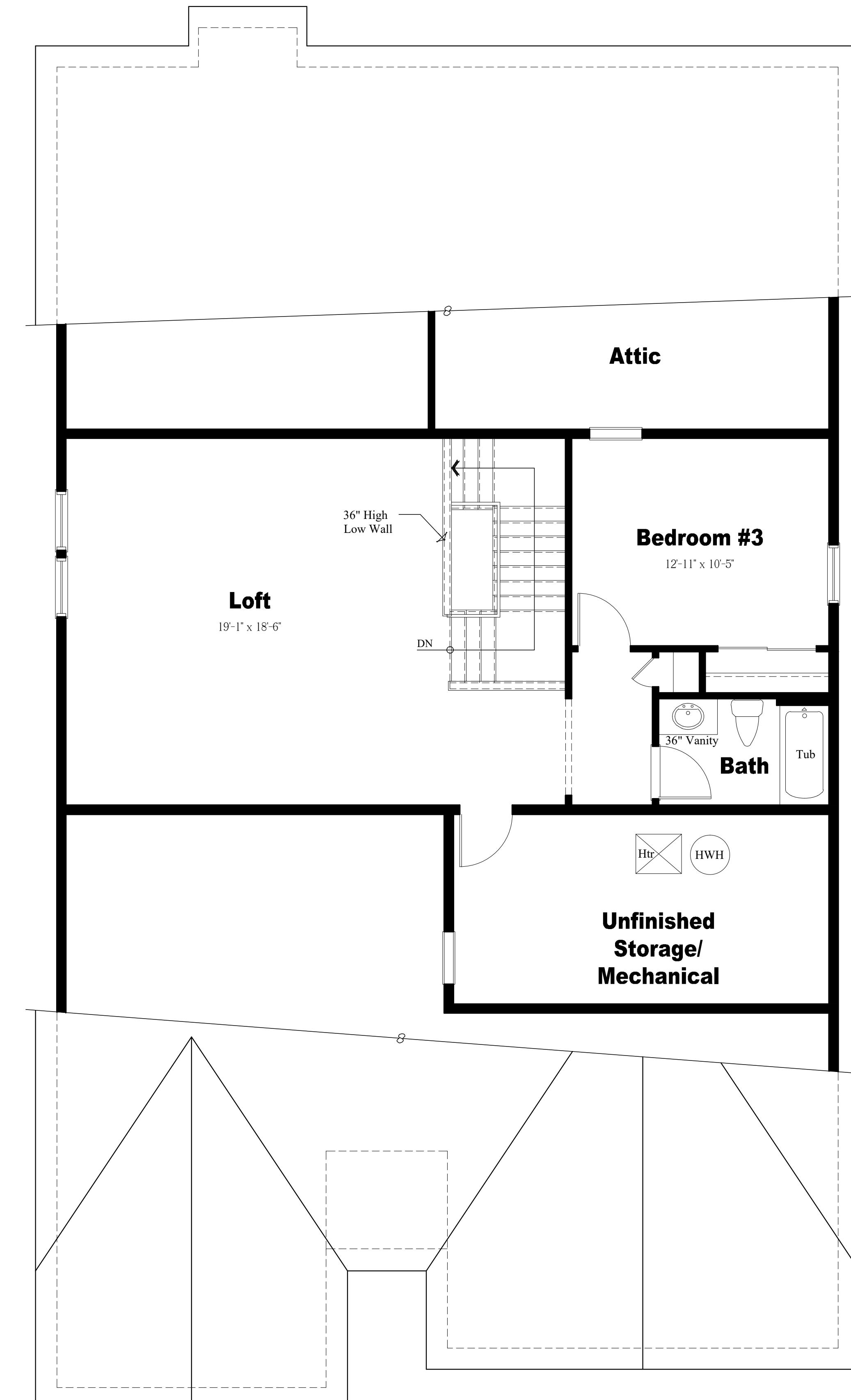
Partial Second Floor Plan

Scale: $\frac{1}{4}'' = 1'-0''$



Partial Second Floor Plan

Scale: $\frac{1}{4}'' = 1'-0''$



Second Floor Plan

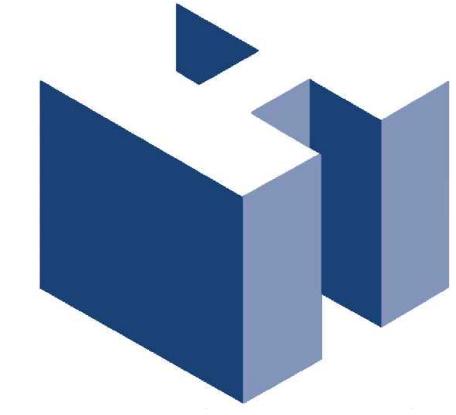
Scale: $\frac{1}{4}'' = 1'-0''$

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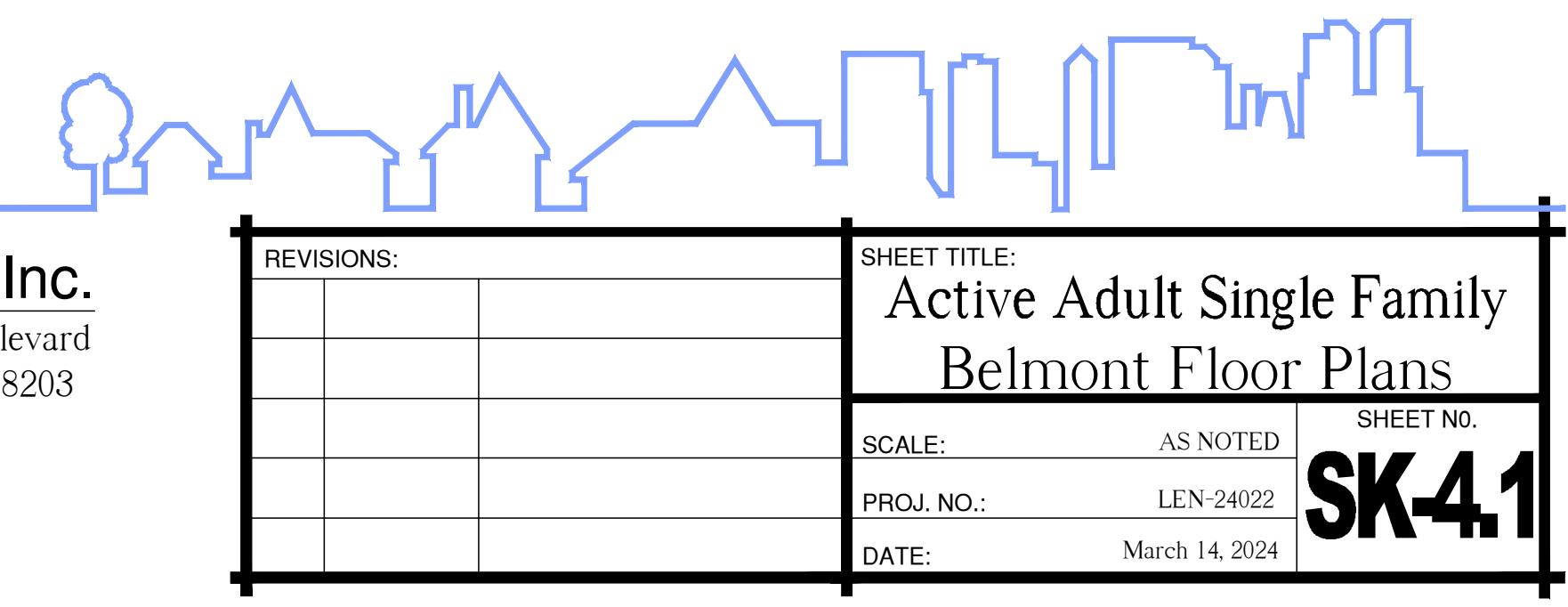
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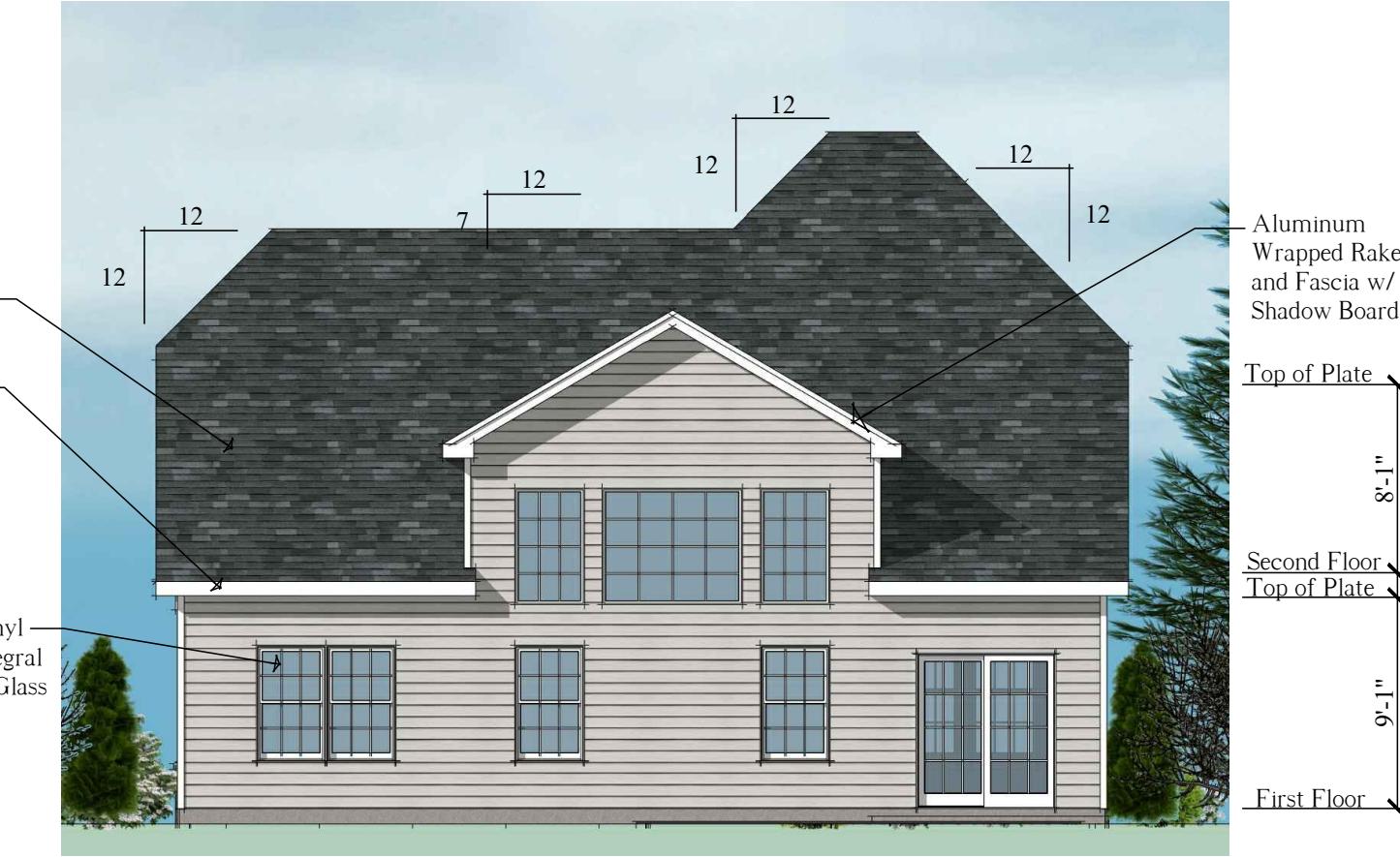
Active Adult Single Family
Belmont Floor Plans
SHEET NO. **SK4.1**
SCALE: AS NOTED
PROJ. NO.: LEN-24022
DATE: March 14, 2024

Notes:

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2. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

**Left Elevation**

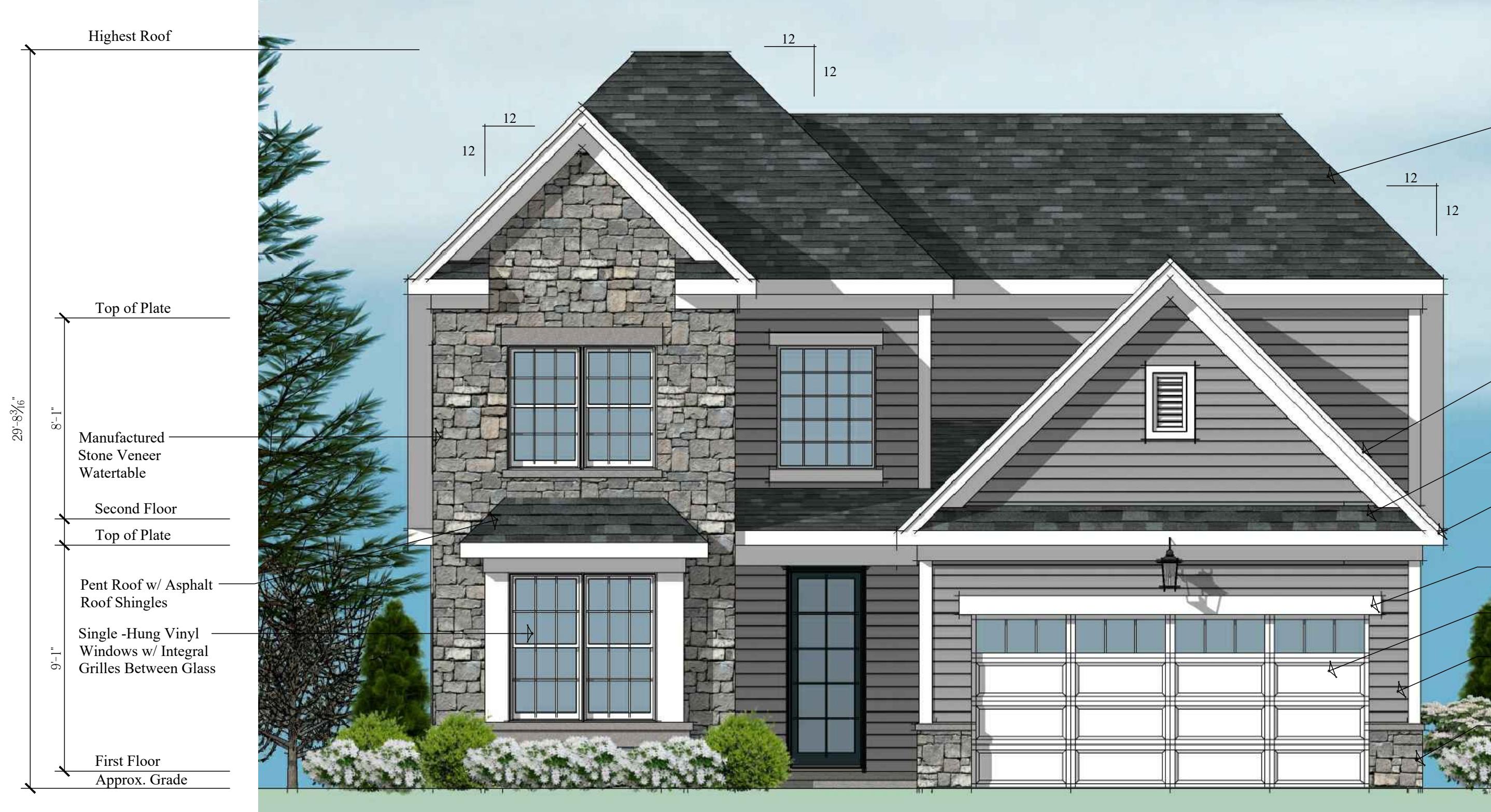
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**Rear Elevation**

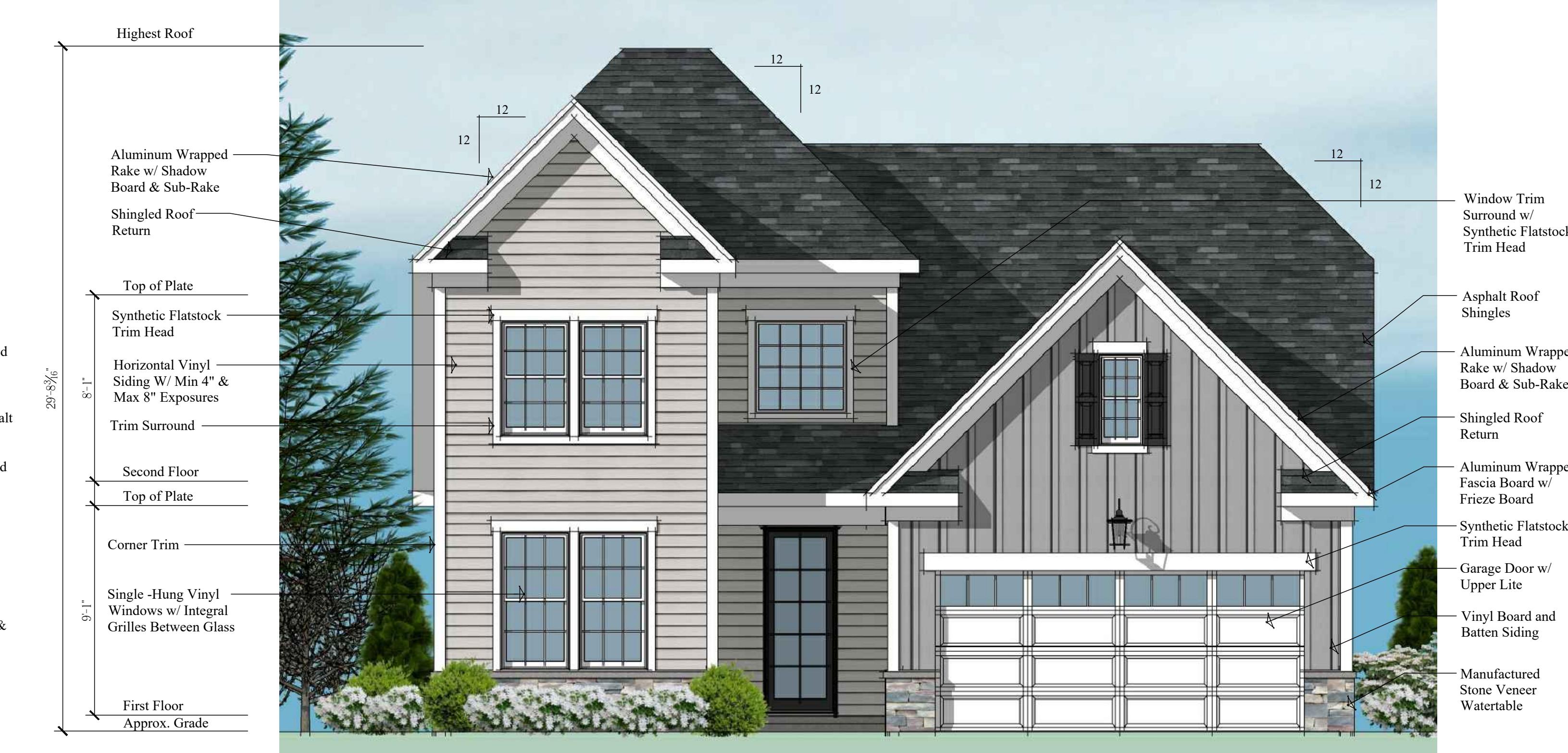
Scale: 1/8" = 1'-0" (Elevation C Shown)

**Right Elevation**

Scale: 1/8" = 1'-0" (Elevation C Shown)

**Elevation D**

Scale: 1/4" = 1'-0"

**Elevation C**

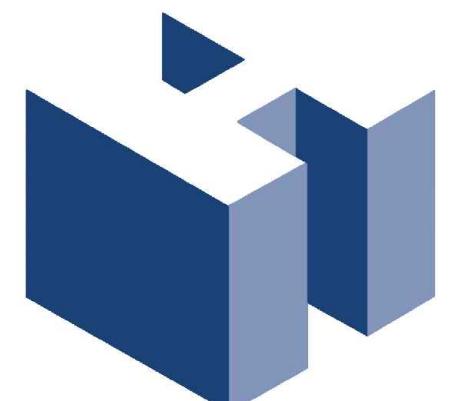
Scale: 1/4" = 1'-0"

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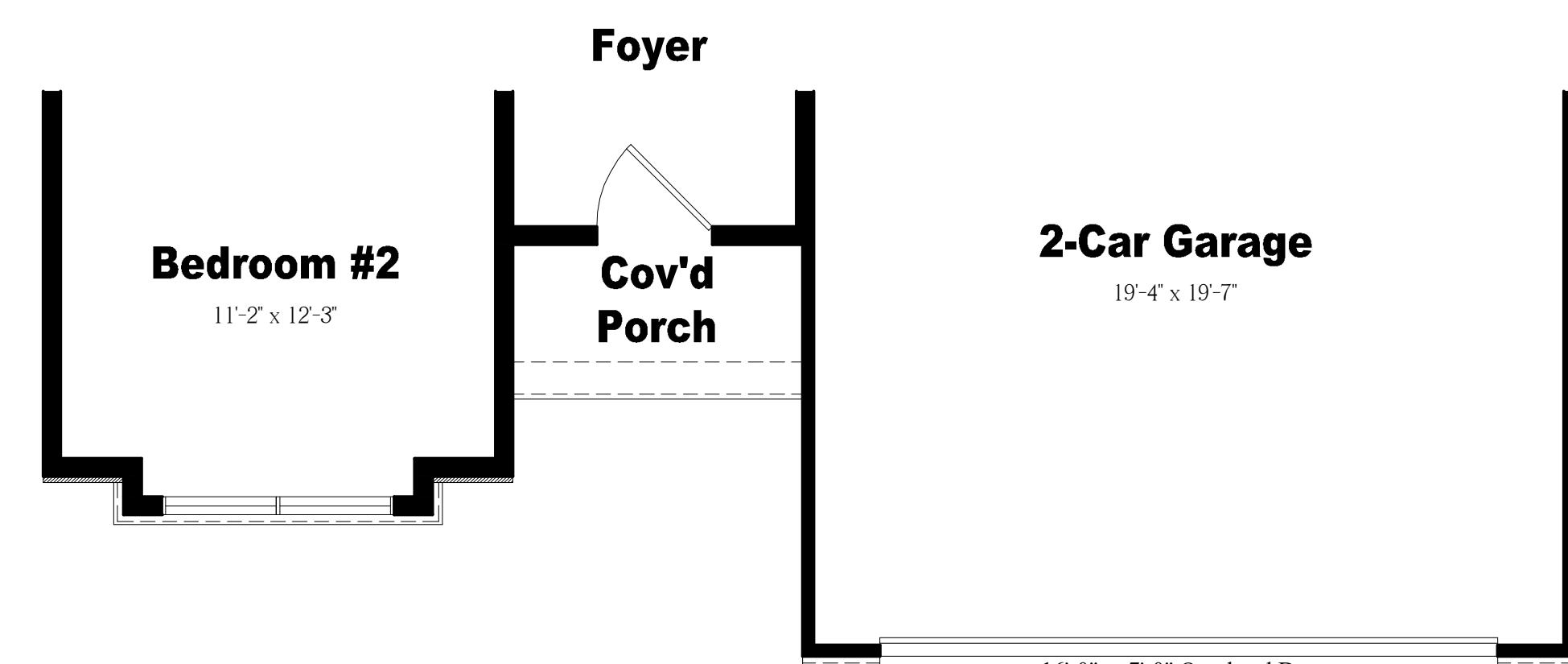
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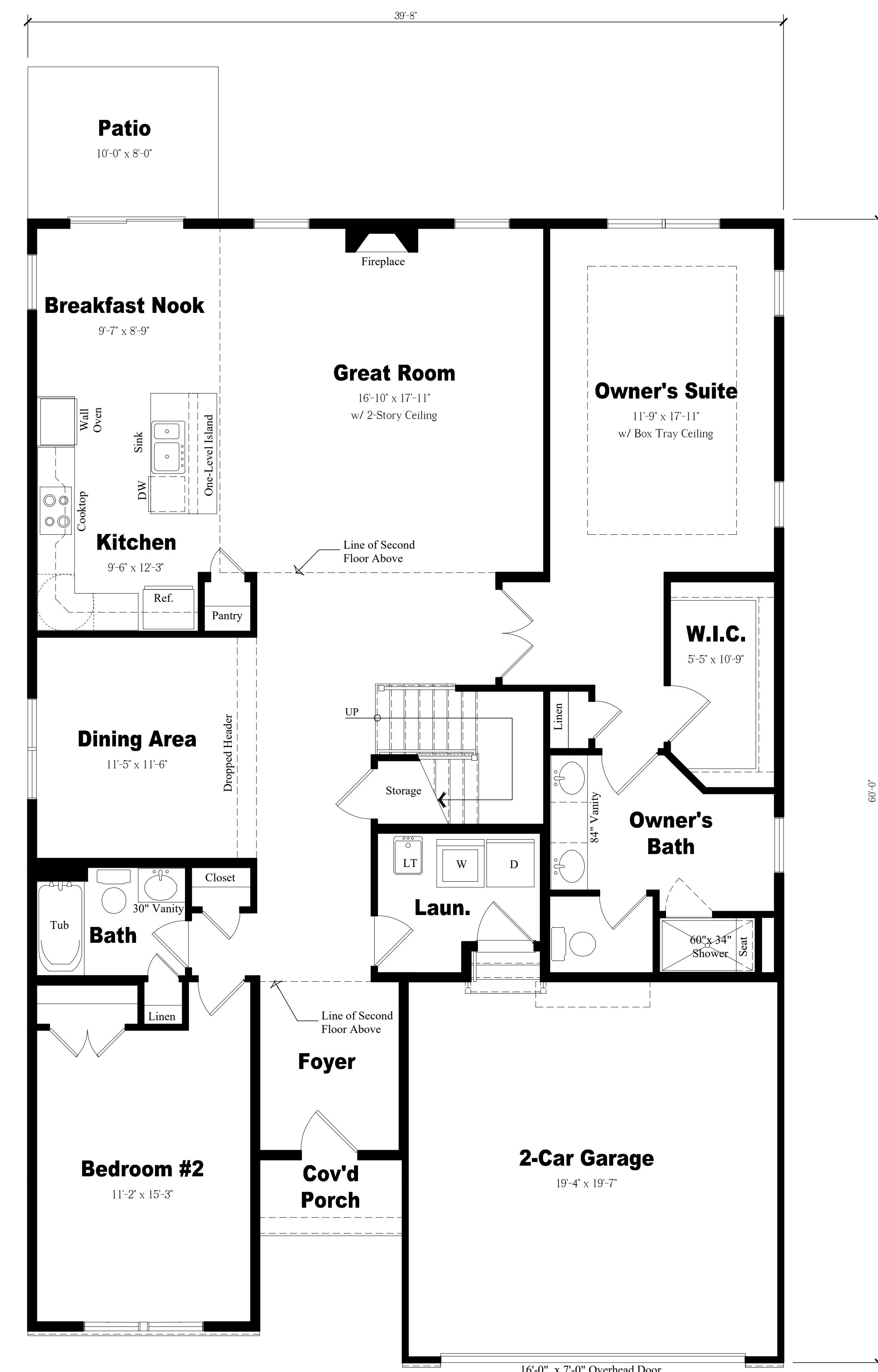


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REVISIONS:	SHEET TITLE: Active Adult Single Family Capri Elevations		
SCALE: AS NOTED		SHEET NO. SK-5	
PROJ. NO.: LEN-24022		DATE: March 14, 2024	



Elevation D
Partial First Floor Plan
Scale: $\frac{1}{4}$ " = 1'-0"



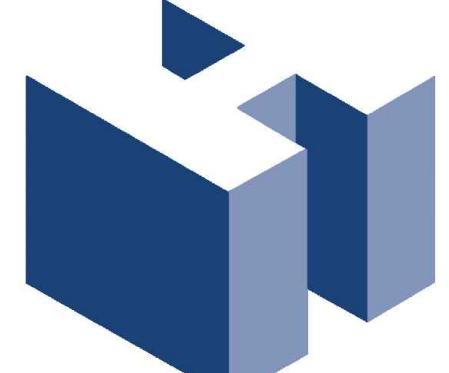
Elevation C
First Floor Plan
Scale: $\frac{1}{4}$ " = 1'-0"

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REVISIONS:

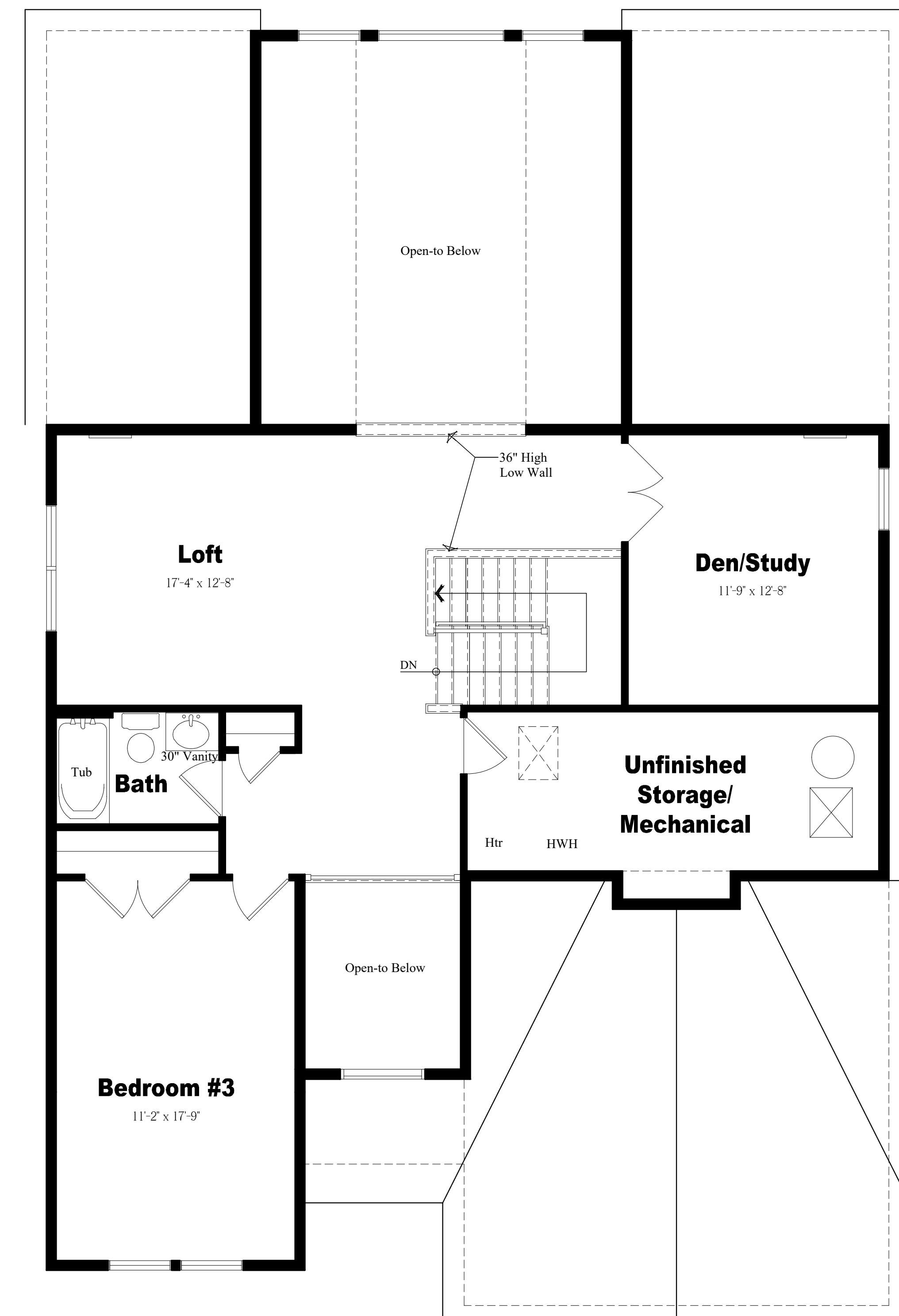
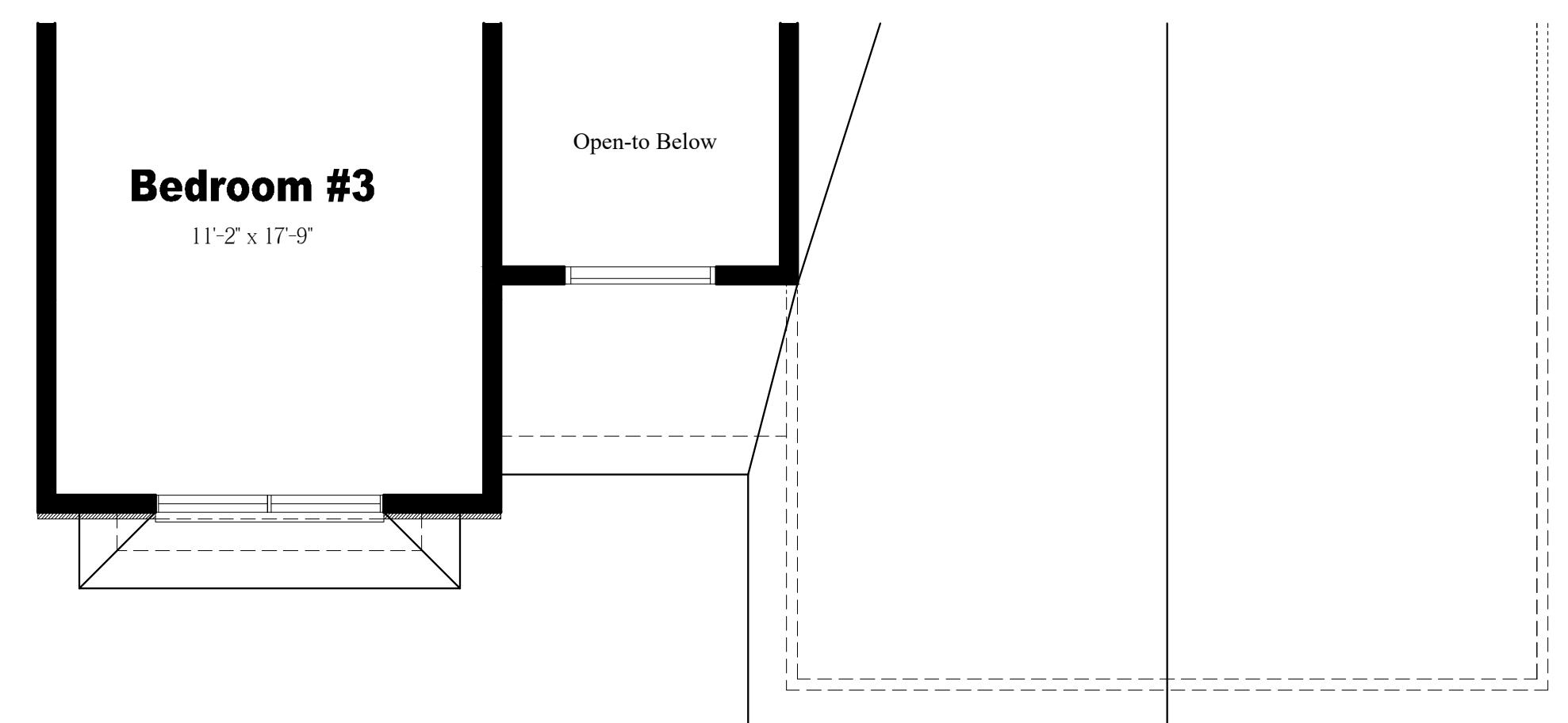
SHEET TITLE: **Active Adult Single Family Capri Floor Plans**

SCALE: AS NOTED

PROJ. NO.: LEN-24022

DATE: March 14, 2024

SHEET NO. **SK-6**

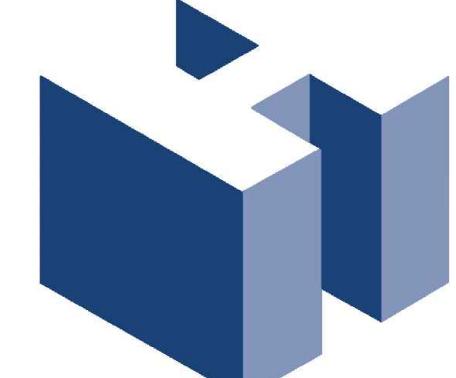


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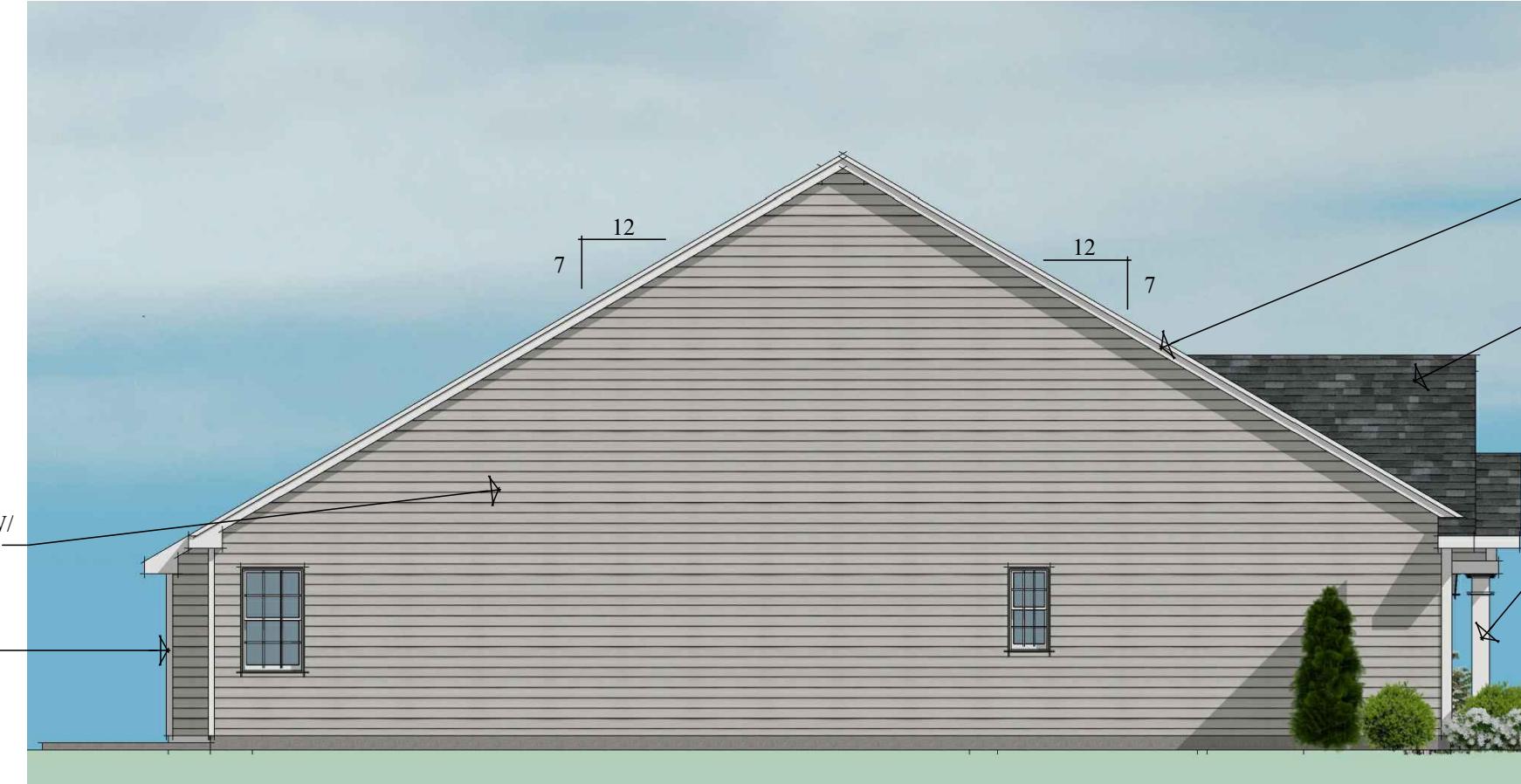
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FAX: 609.953.5373

LINE DRAWING OF A HILL OR MOUNTAIN IN THE BACKGROUND.

REVISIONS:	SHEET TITLE: Active Adult Single Family Capri Floor Plans		
SCALE:	AS NOTED	PROJ. NO.:	LEN-24022
DATE:	March 14, 2024		
SHEET NO. SK-6.1			

Notes:

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**Left Elevation**

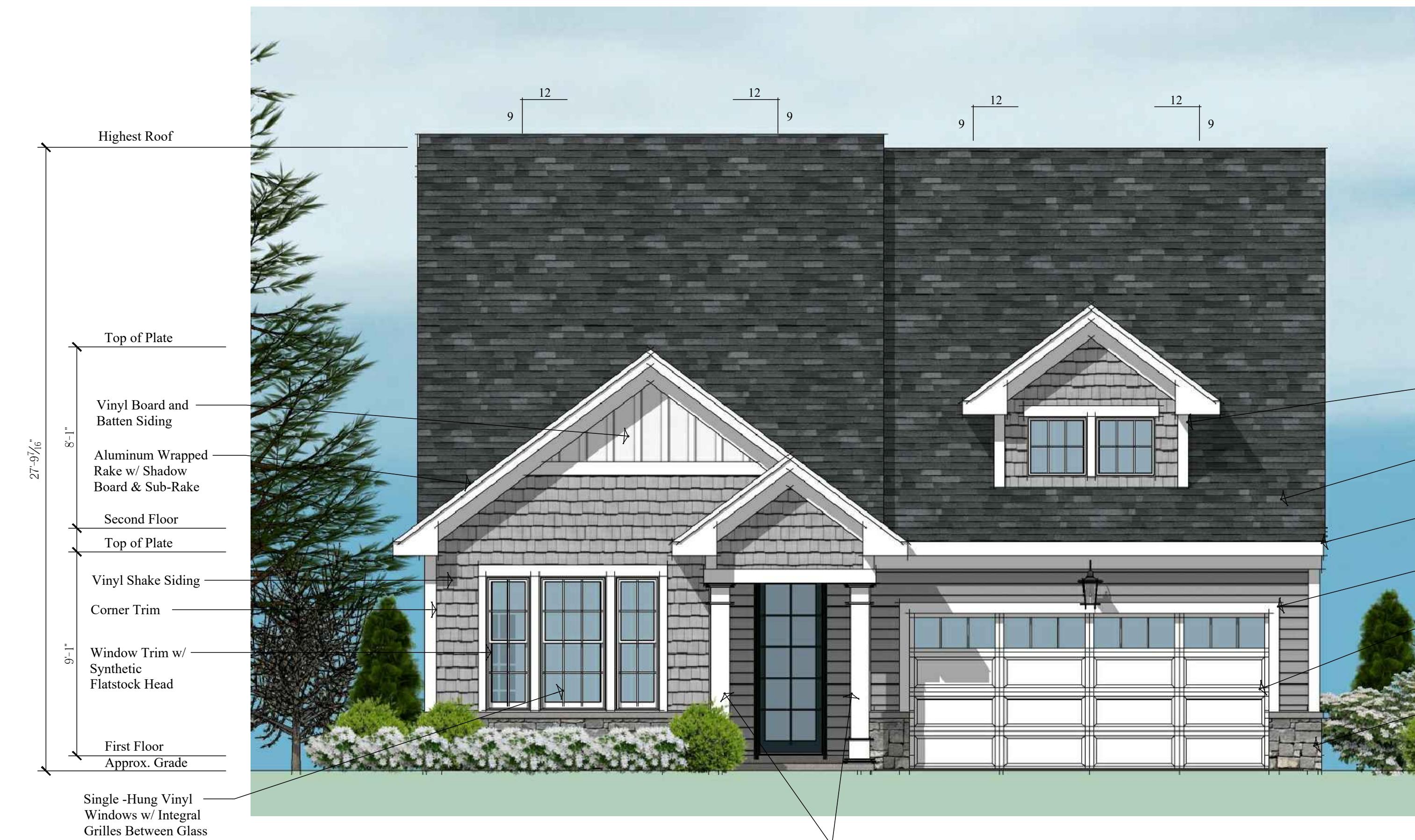
Scale: 1/8" = 1'-0" (Elevation A Shown)

**Rear Elevation**

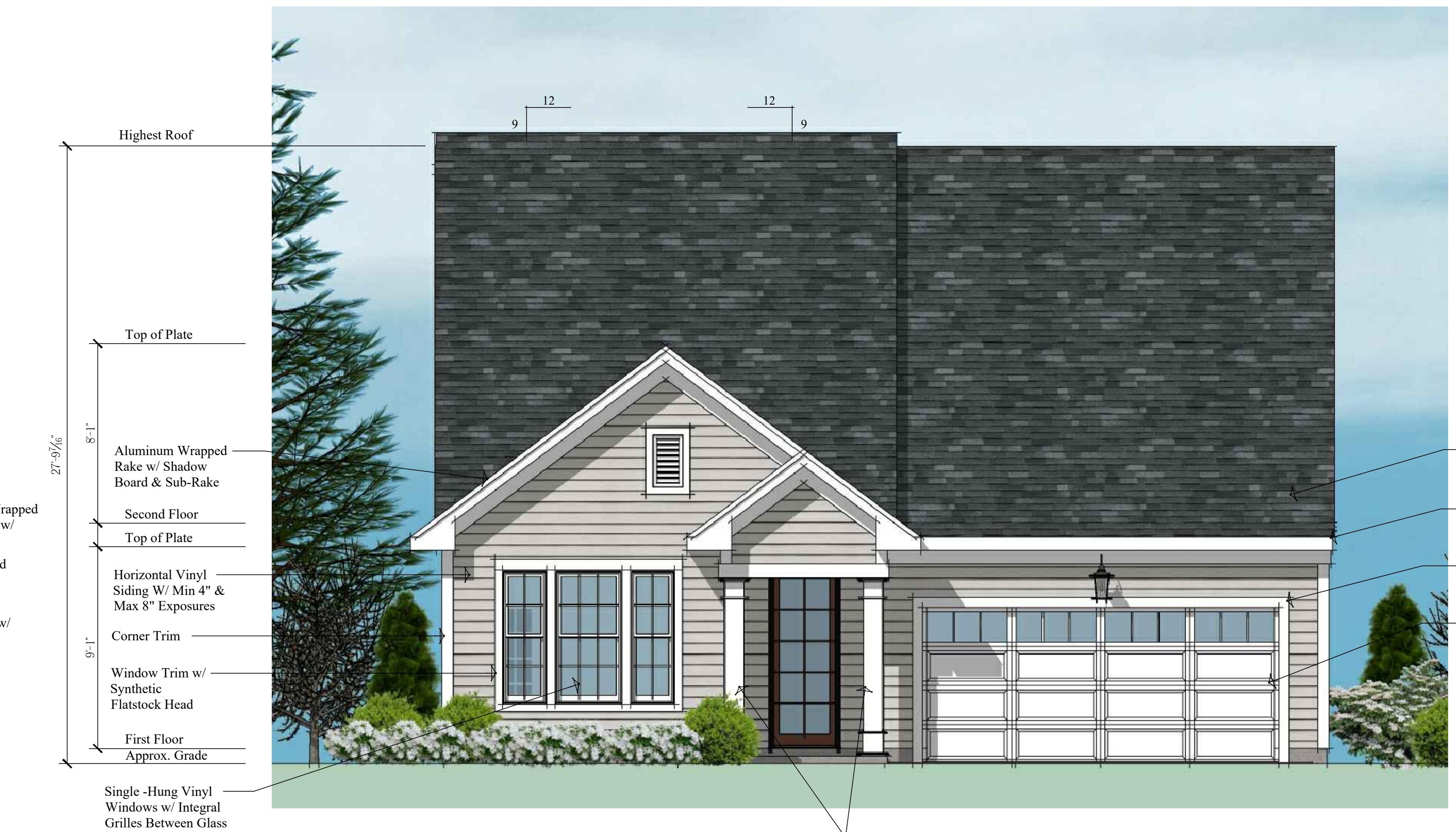
Scale: 1/8" = 1'-0" (Elevation A Shown)

**Right Elevation**

Scale: 1/8" = 1'-0" (Elevation A Shown)

**Elevation B**

Scale: 1/4" = 1'-0"

**Elevation A**

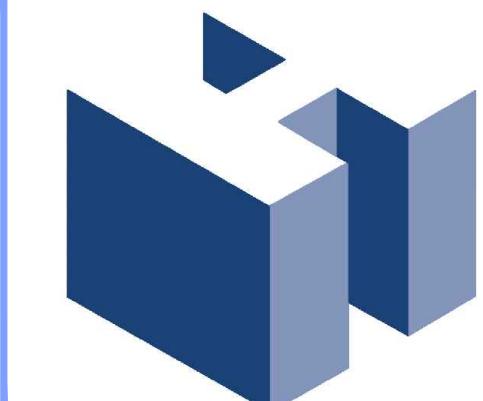
Scale: 1/4" = 1'-0"

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CLIENT:

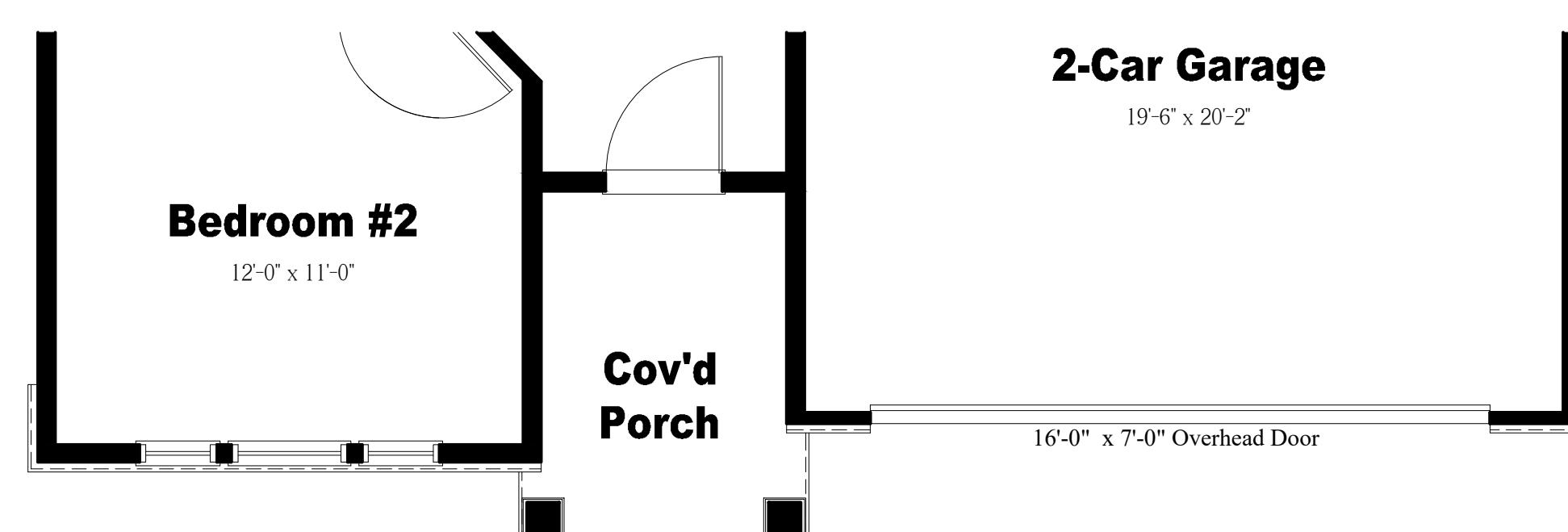
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Mercer County, New Jersey



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609.953.5373
FAX: 609.953.5373
FAX: 609.953.5373

REVISIONS:	SHEET TITLE:		
Active Adult Single Family Davenport Front Elevations			
SCALE:	AS NOTED		
PROJ. NO.:	LEN-24022		
DATE:	March 14, 2024		
SHEET NO.	SK-7		



Elevation B

Partial First Floor Plan

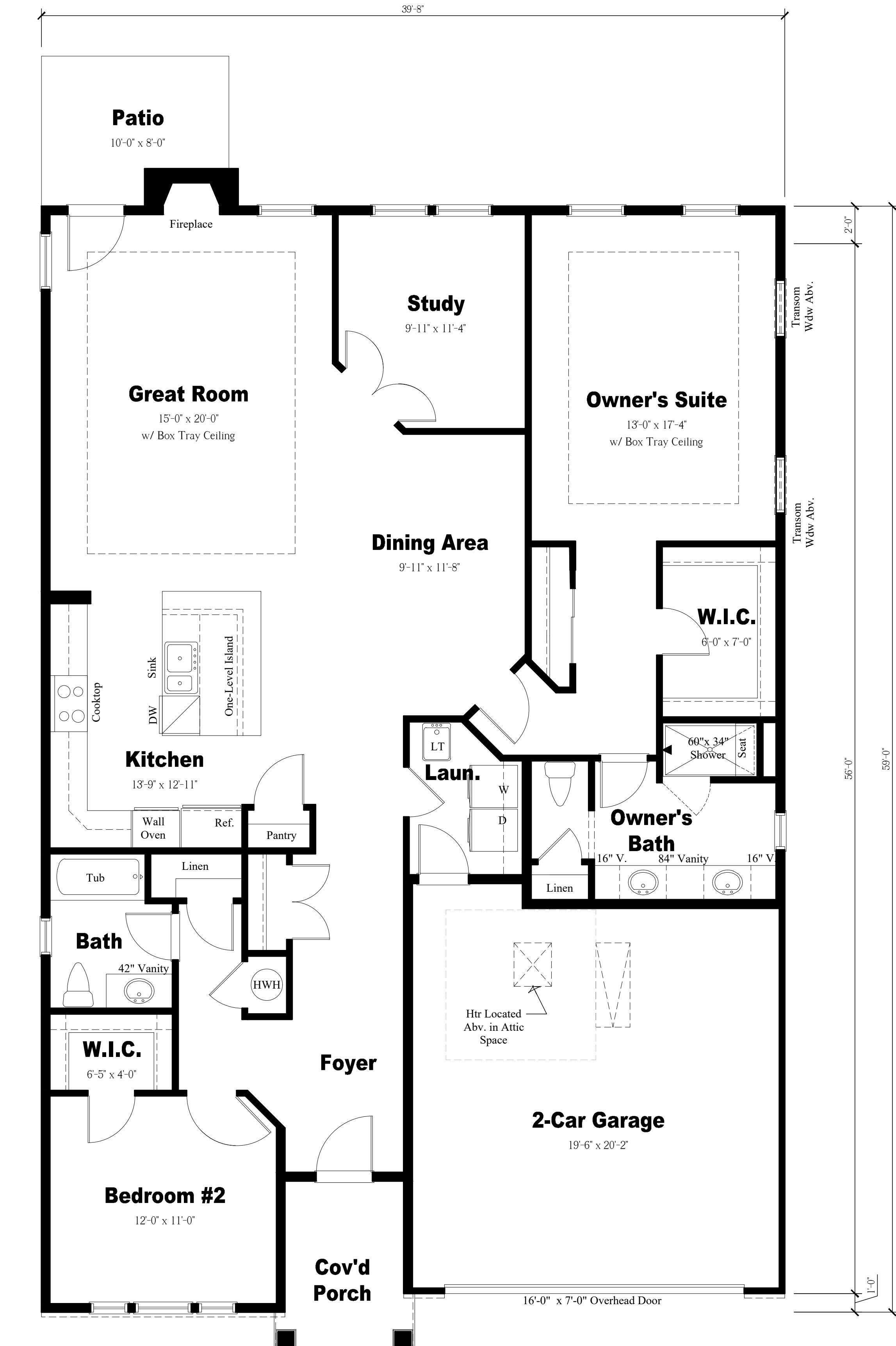
Scale: $\frac{1}{4}$ " = 1'-0"

NOTE:
THESE
SUBJEC

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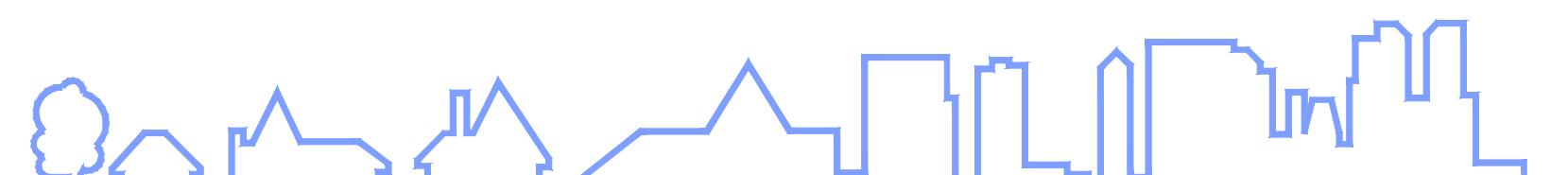
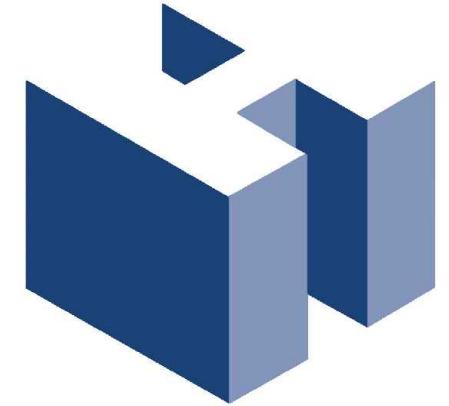


Elevation A

Scale: $\frac{1}{4}$ " = 1'-0"

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REVISIONS:			SHEET TITLE:	
			Active Adult Single Family Davenport Floor Plans	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SHEET NO.	
			SK-8	

Notes:

1. All Building Elevations and Plans are a Depiction of a Typical Configuration. Refer to Current Site Plans Provided by Engineer of Record for all Final Grading.
2. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

**Left Elevation**

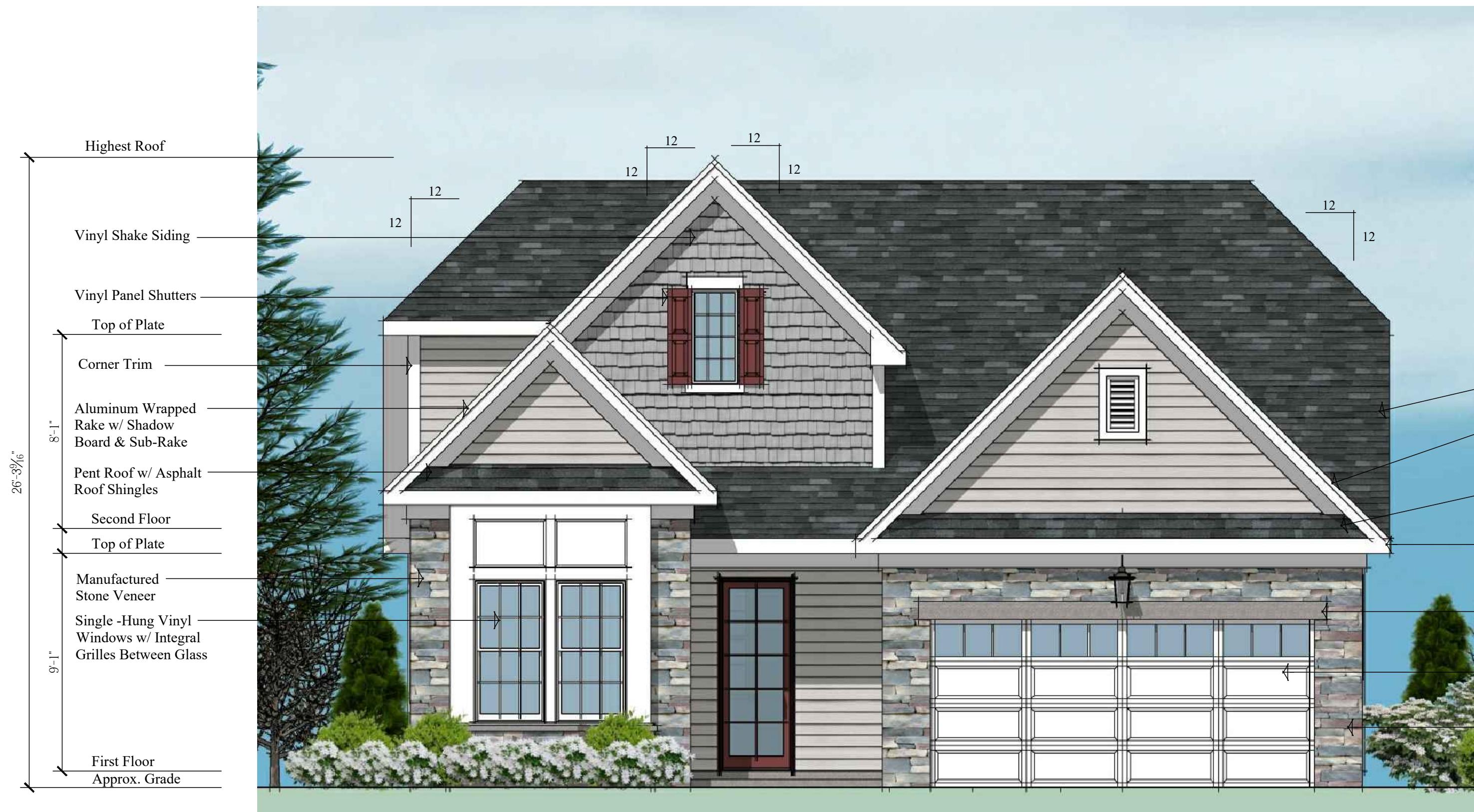
Scale: 1/8" = 1'-0" (Elevation A Shown)

**Rear Elevation**

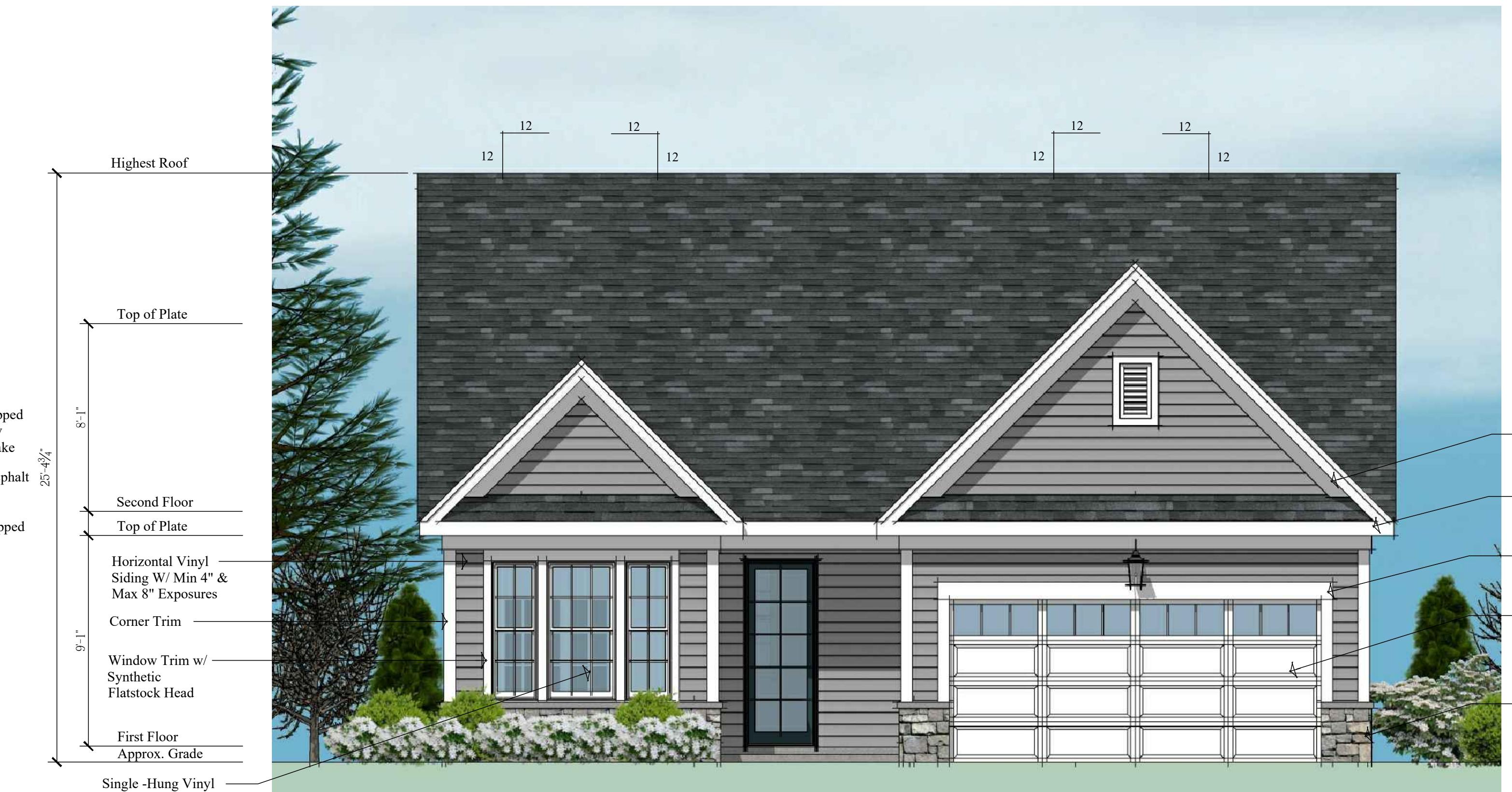
Scale: 1/8" = 1'-0" (Elevation A Shown)

**Right Elevation**

Scale: 1/8" = 1'-0" (Elevation A Shown)

**Elevation C**

Scale: 1/4" = 1'-0"

**Elevation A**

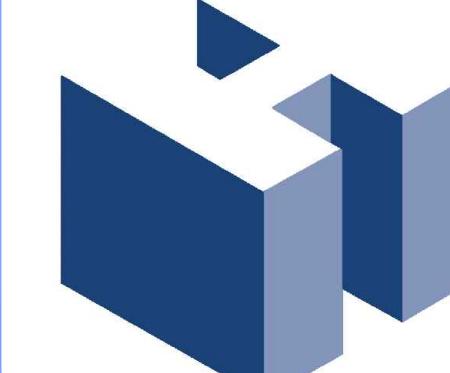
Scale: 1/4" = 1'-0"

NOTE:
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CLIENT:

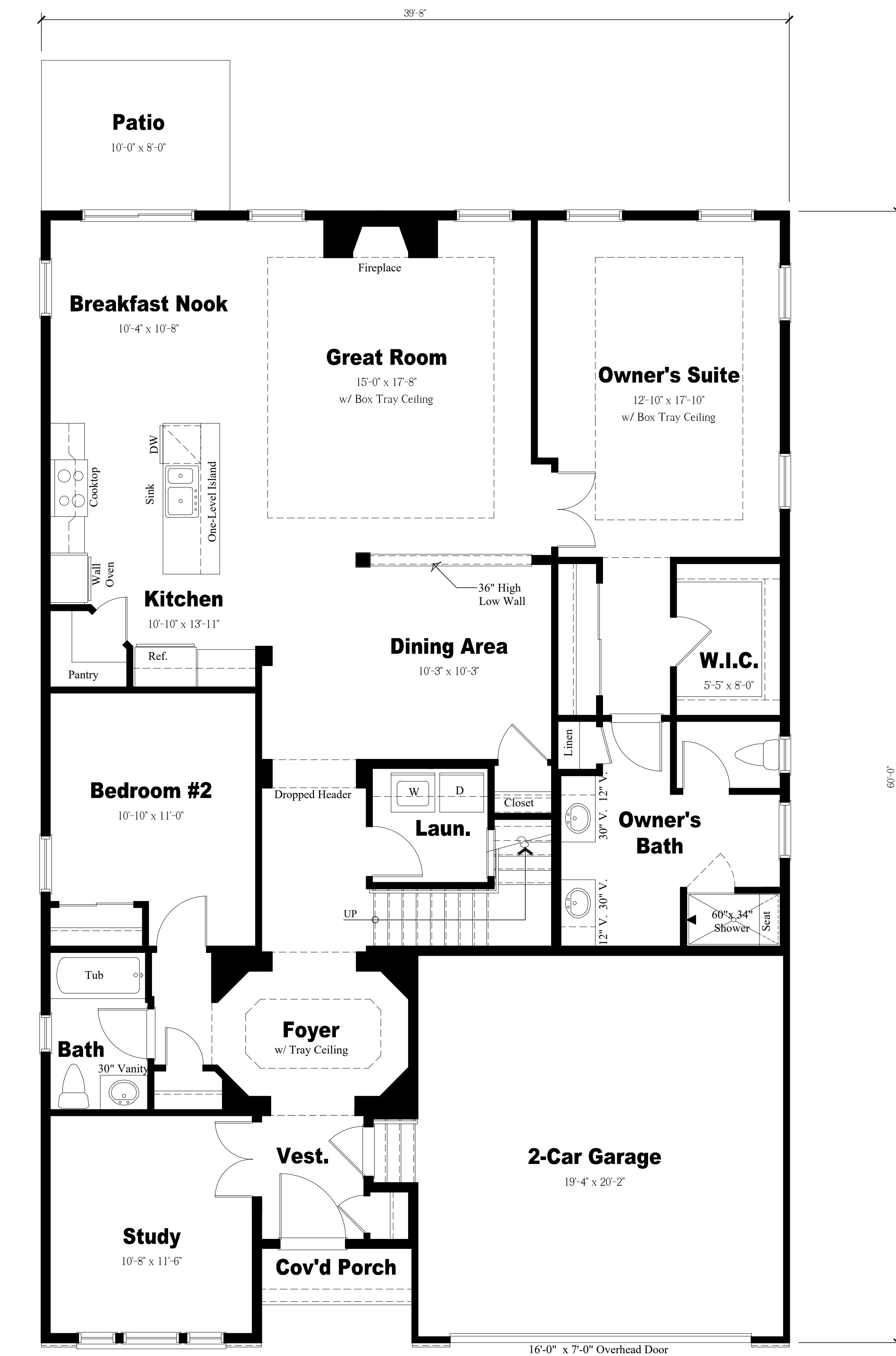
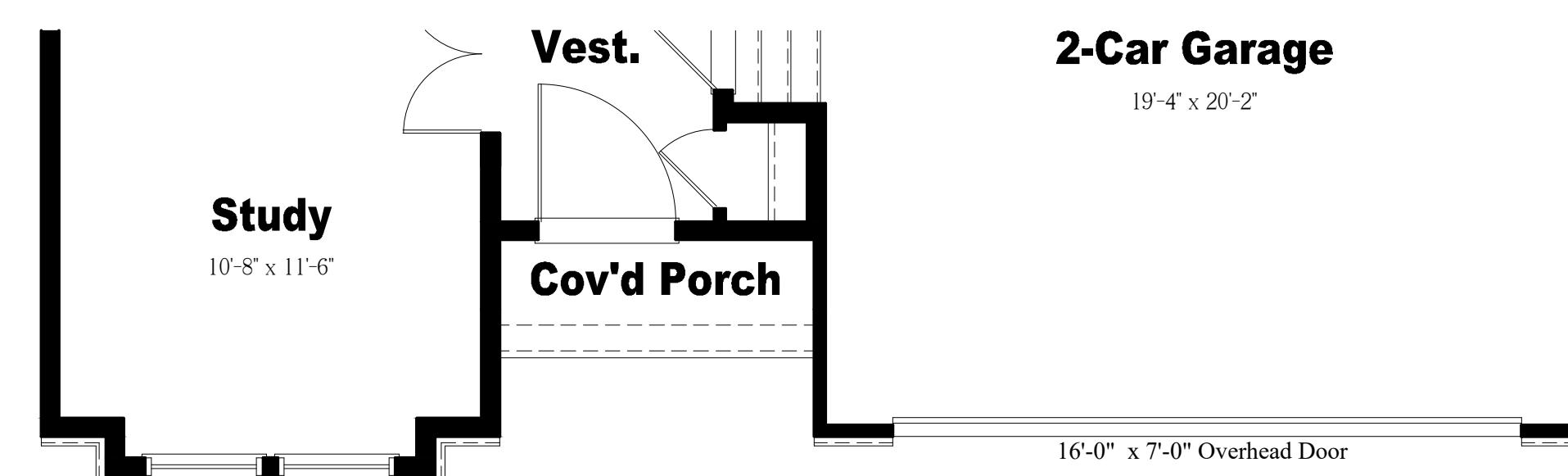
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REVISIONS:	SHEET TITLE:	
	Active Adult Single Family Seville Front Elevation	
SCALE:	AS NOTED	
PROJ. NO.:	LEN-24022	
DATE:	March 14, 2024	
SHEET NO. SK-9		

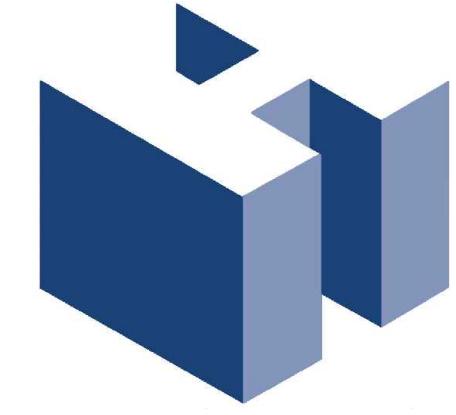


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CLIENT:

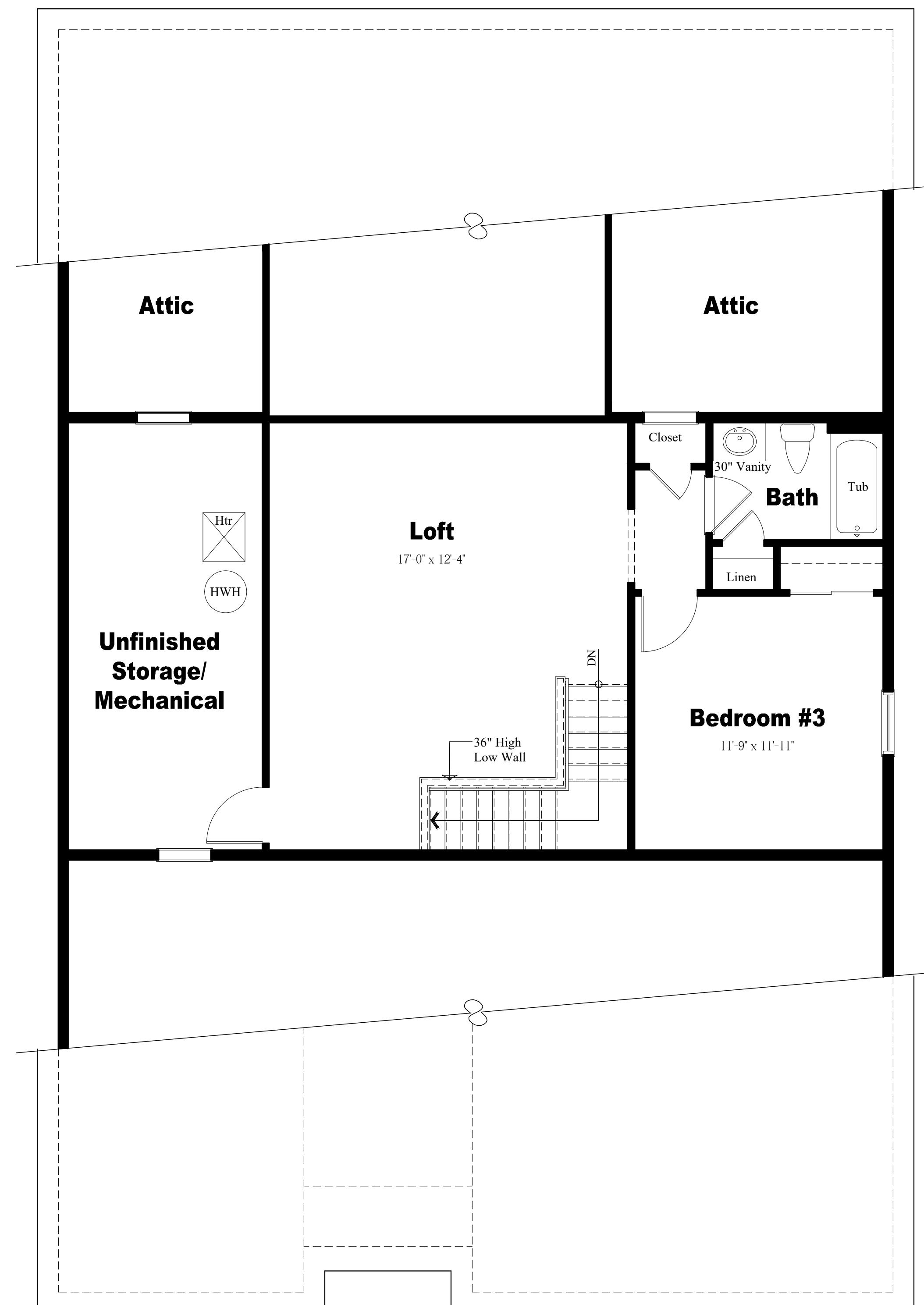
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REVISIONS:
SHEET TITLE: Active Adult Single Family Seville Floor Plans
SCALE: AS NOTED
PROJ. NO.: LEN-24022
DATE: March 14, 2024
SHEET NO. **SK-10**



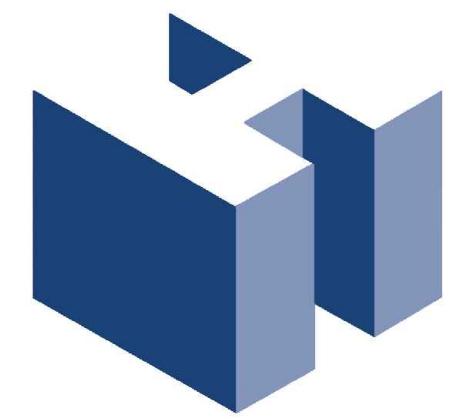
Elevation A (Elevation C Similar)
Second Floor Plan
 Scale: $\frac{1}{4}$ = 1'-0"

NOTE:
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REVISIONS:

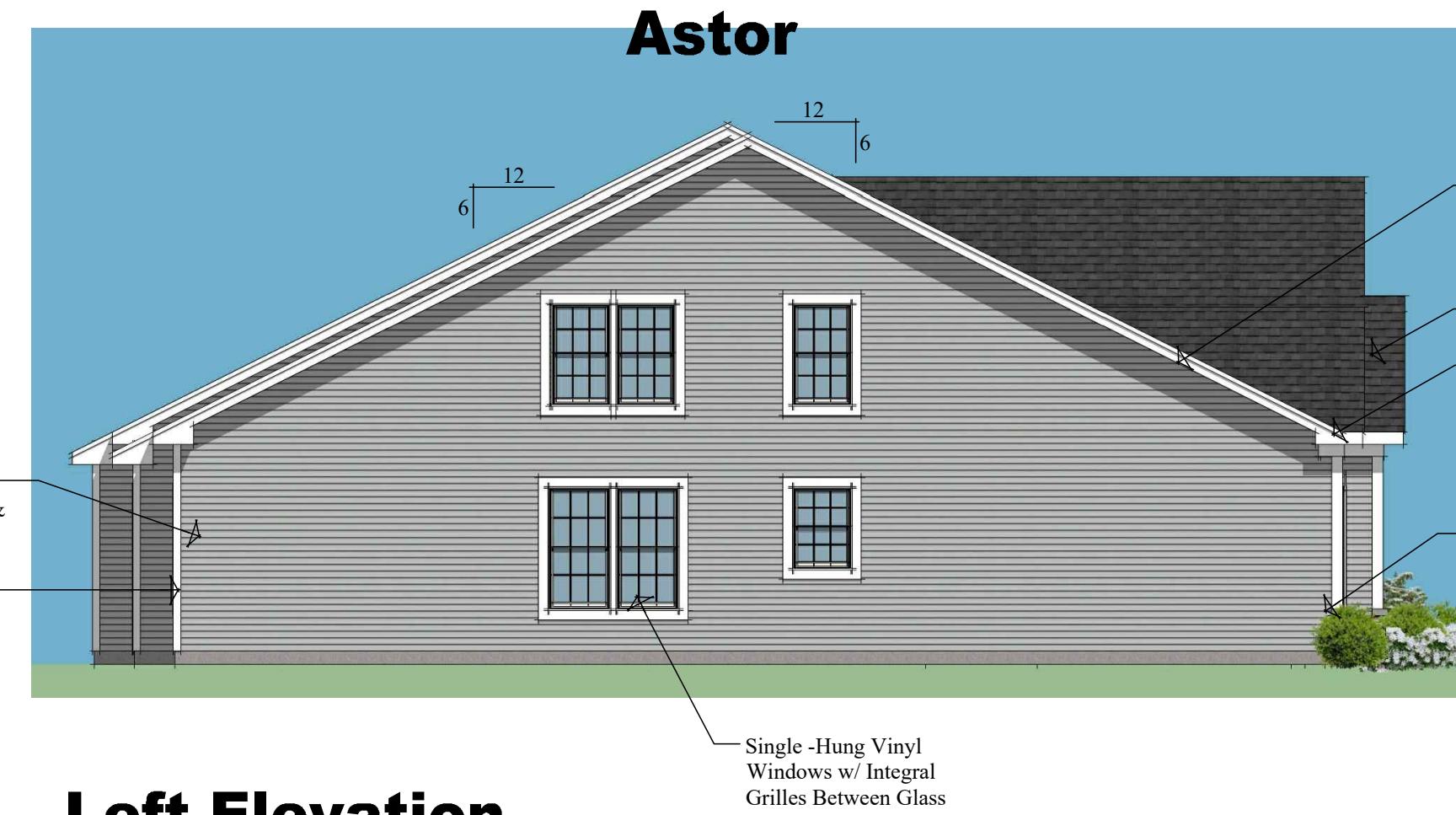
SHEET TITLE: Active Adult Single Family Seville Floor Plans

SCALE: AS NOTED

PROJ. NO.: LEN-24022

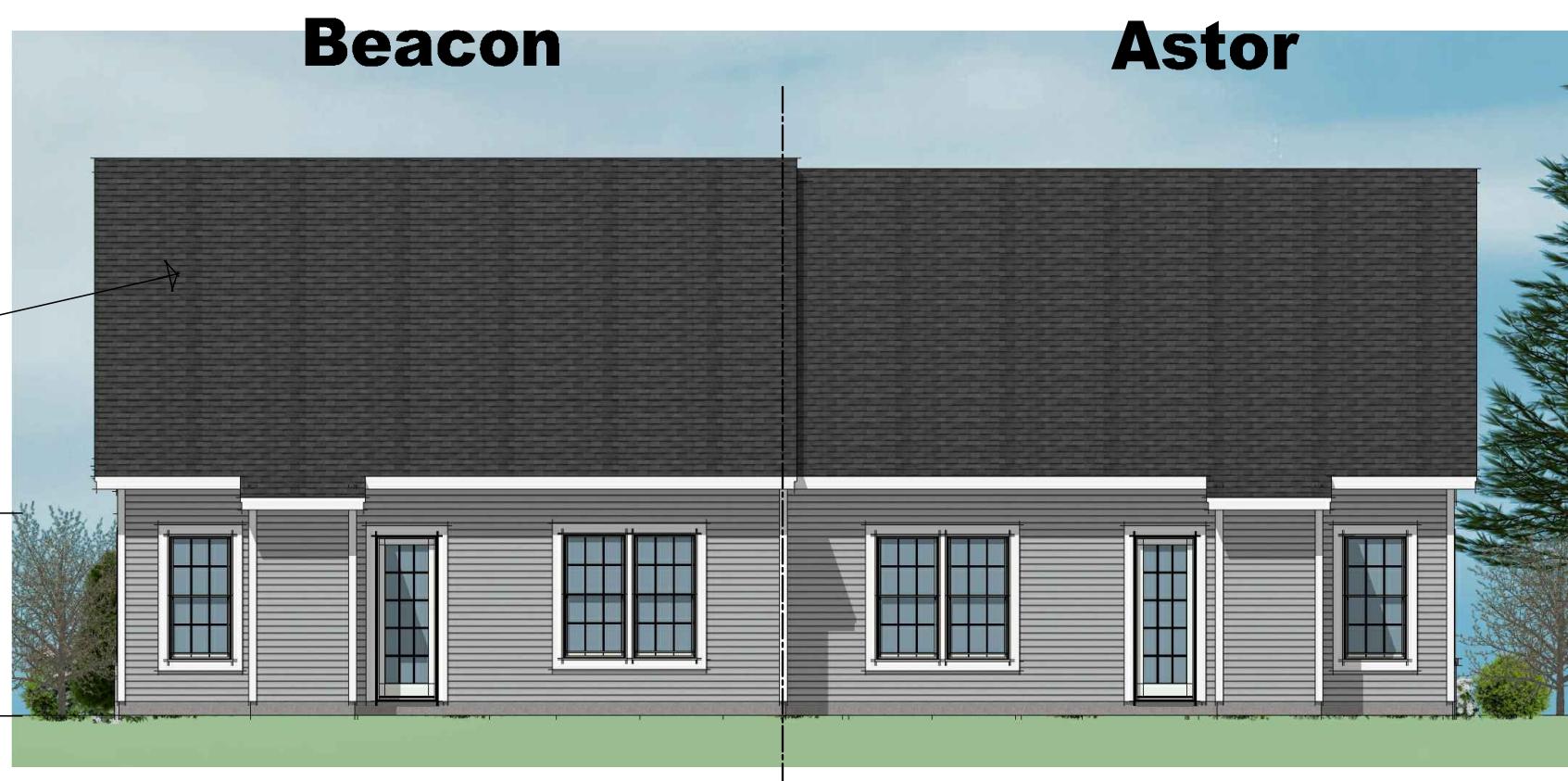
DATE: March 14, 2024

SHEET NO. **SK-10.1**



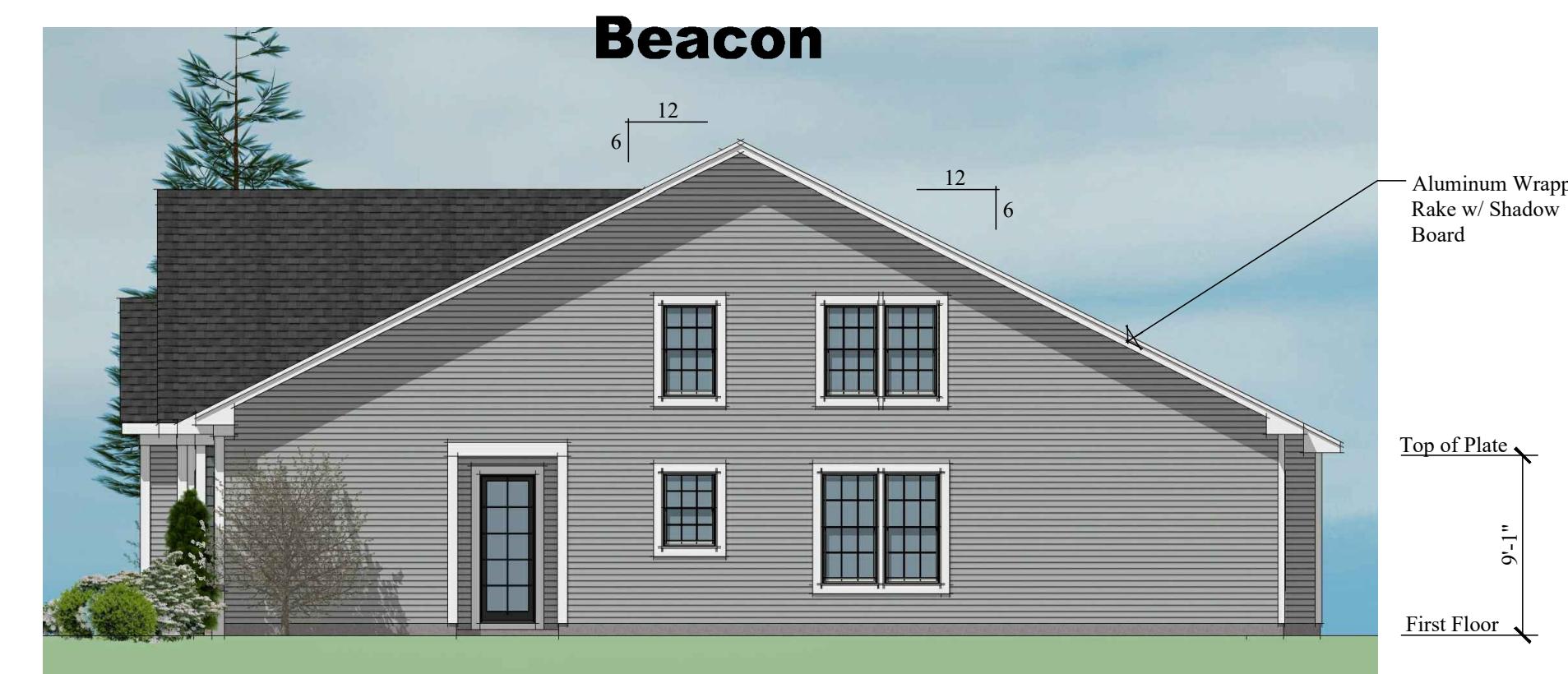
Left Elevation

Scale: 1/8" = 1'-0"



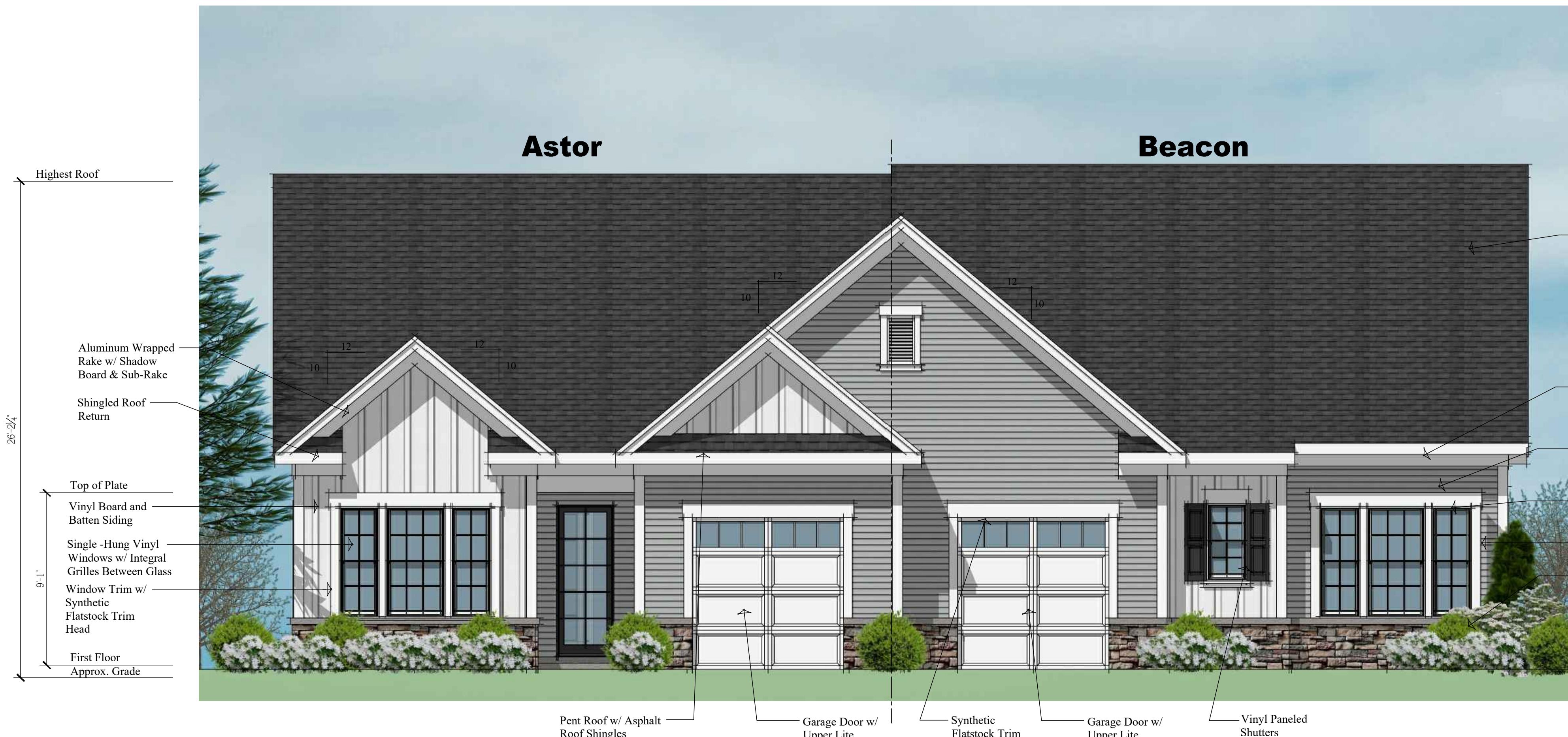
Rear Elevation

Scale: 1/8" = 1'-0"



Right Elevation

Scale: 1/8" = 1'-0"



Front Elevation

Scale: 1/4" = 1'-0"

Notes:

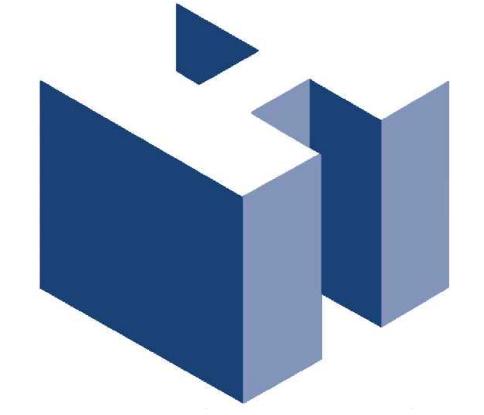
1. All Building Elevations and Plans are a Depiction of a Typical Configuration. Refer to Current Site Plans Provided by Engineer of Record for all Final Grading.
2. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

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CLIENT:

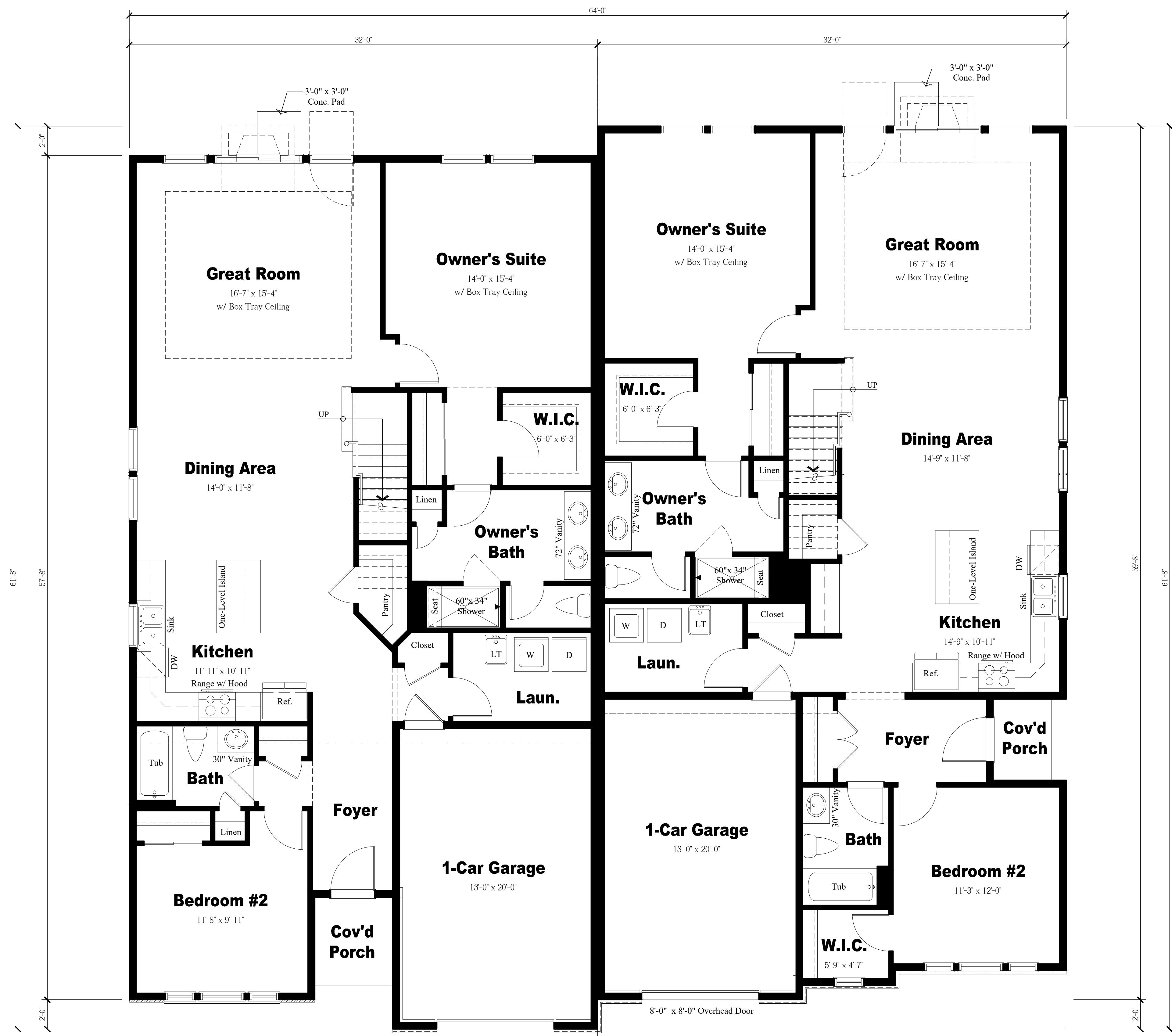
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REVISIONS:	SHEET TITLE: Active Adult Duplex Astor-Beacon Elevation		
SCALE: AS NOTED			
PROJ. NO.: LEN-24022			
DATE: March 14, 2024			
SHEET NO. SK-11			



First Floor Plan

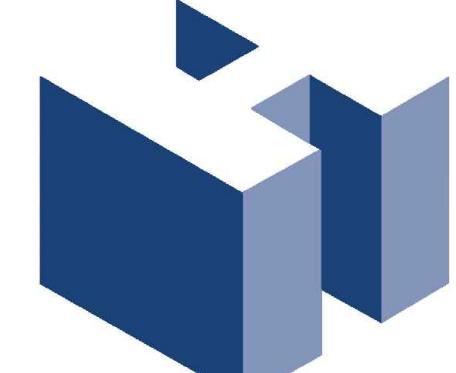
Scale: $\frac{1}{4} = 1'-0"$

NOTE:
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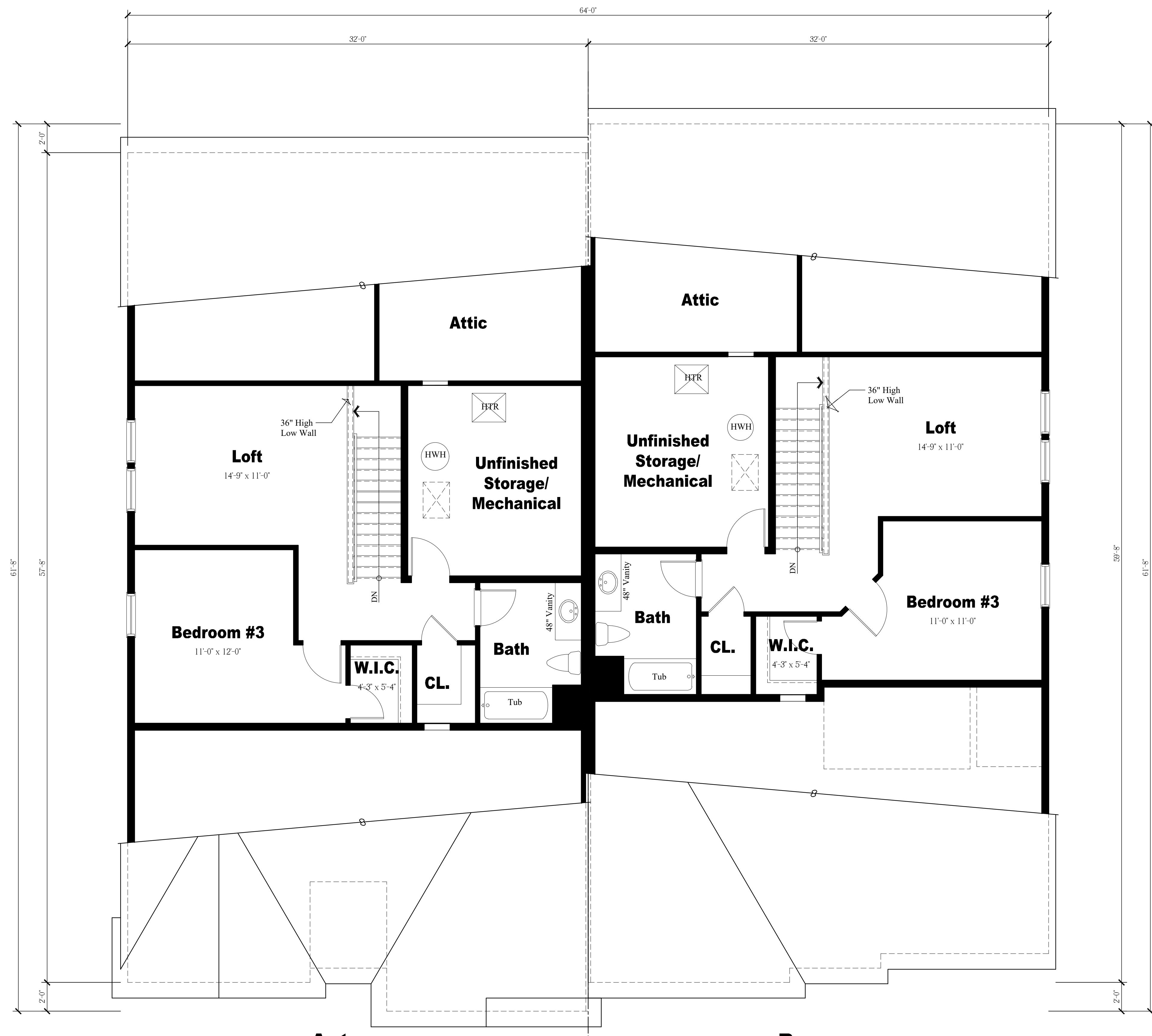
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LINE DRAWING OF A HILL OR MOUNTAIN PEAK.

REVISIONS:	SHEET TITLE: Active Adult Duplex		
Astor-Beacon 1st Floor Plan			
SCALE: AS NOTED			
PROJ. NO.: LEN-24022			
DATE: March 14, 2024			
SHEET NO. SK-12			



Second Floor Plan

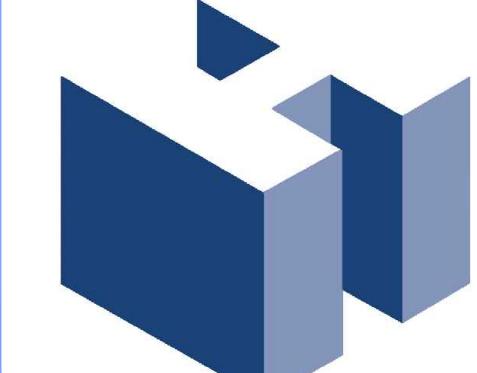
Scale: $\frac{1}{4} = 1'-0"$

NOTE:
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LINE DRAWING OF A HILL OR MOUNTAIN PEAK IN THE BOTTOM RIGHT CORNER.

REVISIONS:	SHEET TITLE: Active Adult Duplex Astor-Beacon 2nd Floor Plan		
SCALE: AS NOTED		SHEET NO. SK-12.1	
PROJ. NO.: LEN-24022		DATE: March 14, 2024	



Notes:

1. All Building Elevations and Plans are a Depiction of a Typical Configuration. Refer to Current Site Plans Provided by Engineer of Record for all Final Grading.
2. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

Front Elevation

Scale: $\frac{3}{16}$ = 1'-0"

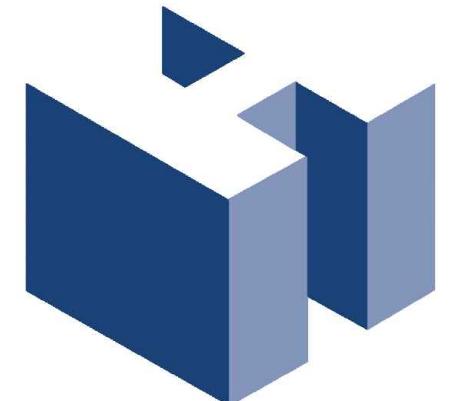
NOTE:

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REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	10-Plex Condo Building Elevations	
2	1-10-25	Client Revisions	SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
SHEET NO. SK-13				



Rear Elevation

Scale: $\frac{1}{8}$ = 1'-0"

Notes:

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CLIENT:

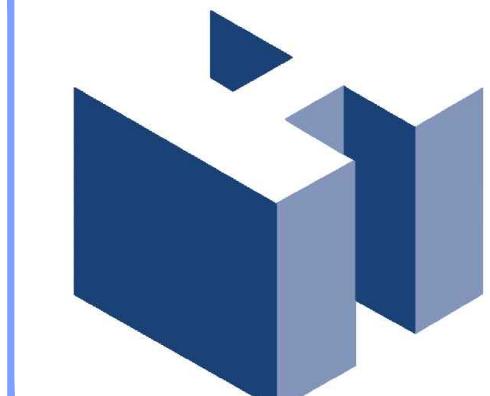
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Side Elevation

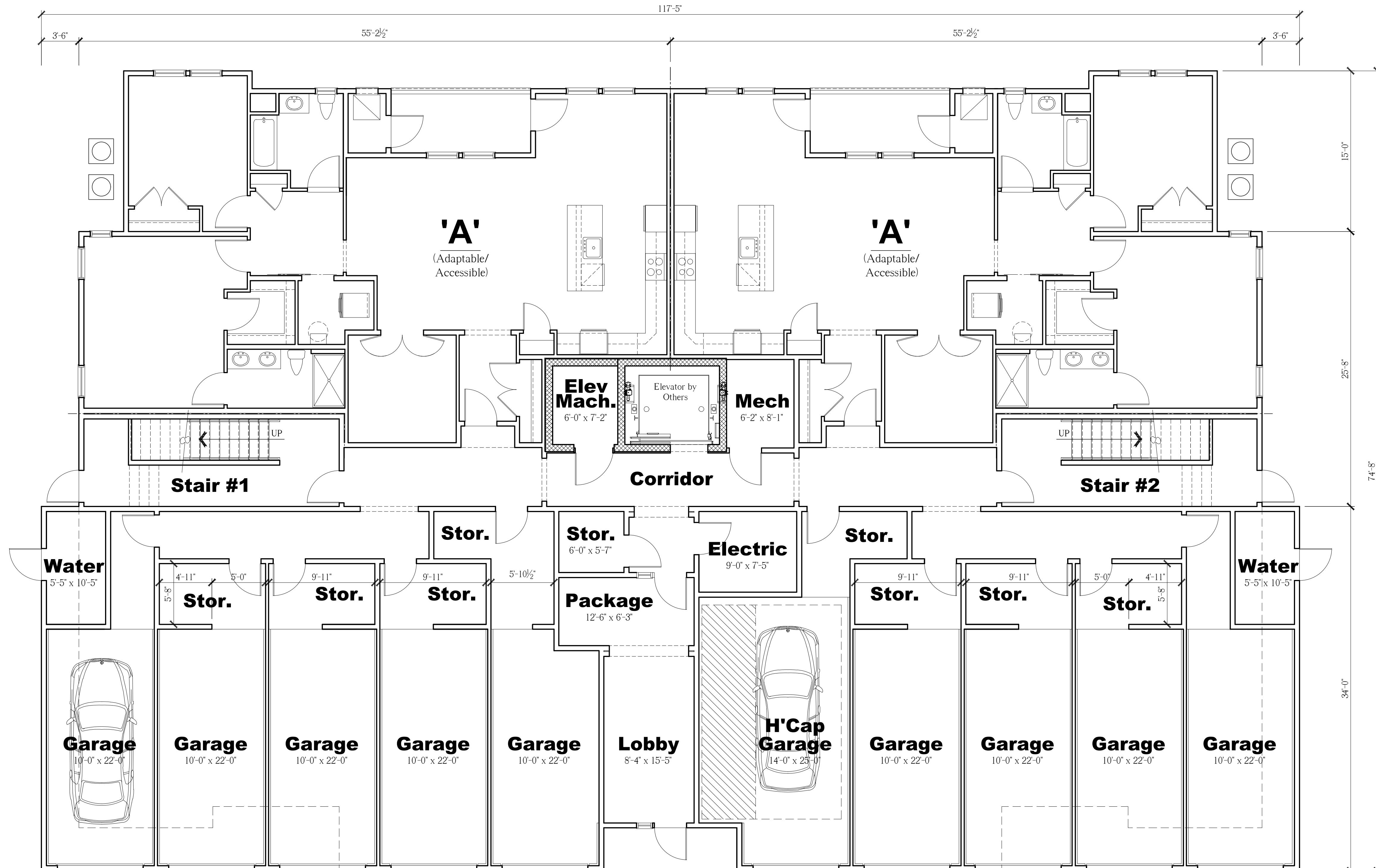
Scale: $\frac{1}{8}$ = 1'-0"



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LINE DRAWING OF THE BUILDING PROFILE

REVISIONS:		
1	12-11-24	Client Revisions
2	1-10-25	Client Revisions
SHEET TITLE:		
10-Plex Condo Building Elevations		
SCALE:		AS NOTED
PROJ. NO.:		LEN-24022
DATE:		March 14, 2024
SHEET NO.		
SK-13.1		

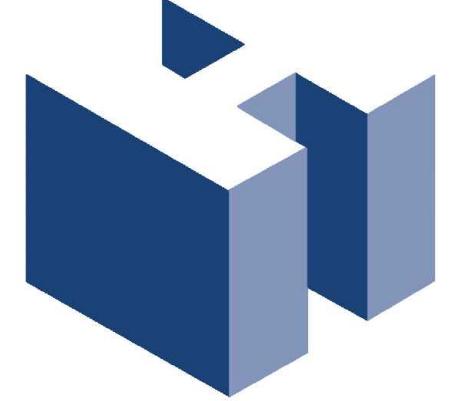


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10-Plex Condo Building
OA First Floor Plan

REVISIONS:

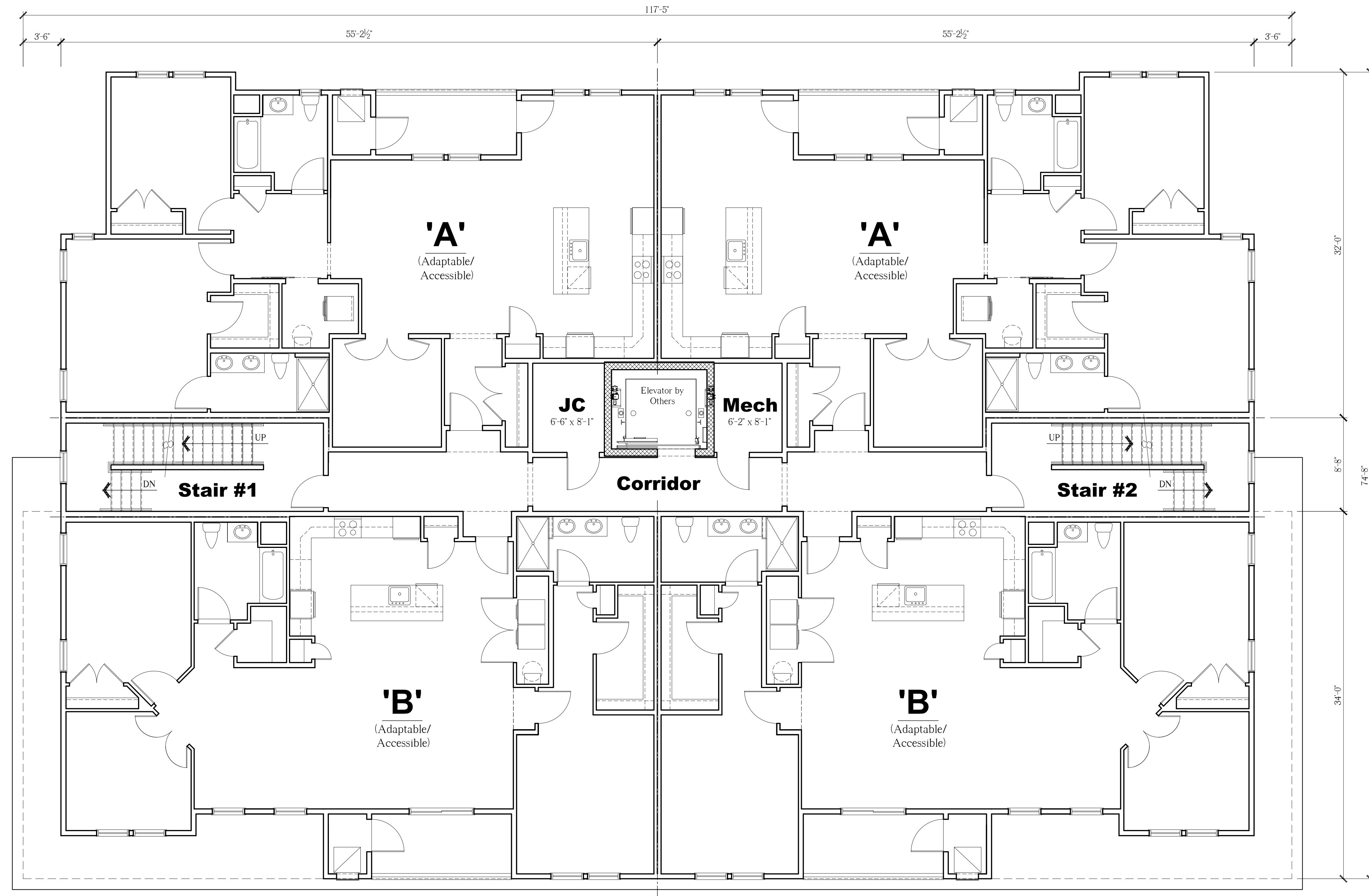
1	12-11-24	Client Revisions
2	1-10-25	Client Revisions

SCALE: AS NOTED

PROJ. NO.: LEN-24022

DATE: March 14, 2024

SK-14



Overall Second & Third Floor Plans

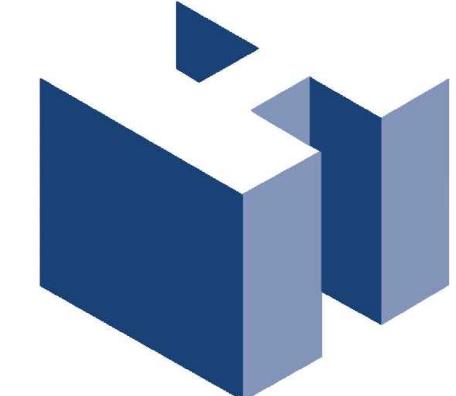
Scale: $\frac{3}{16}$ = 1'-0"

NOTE:
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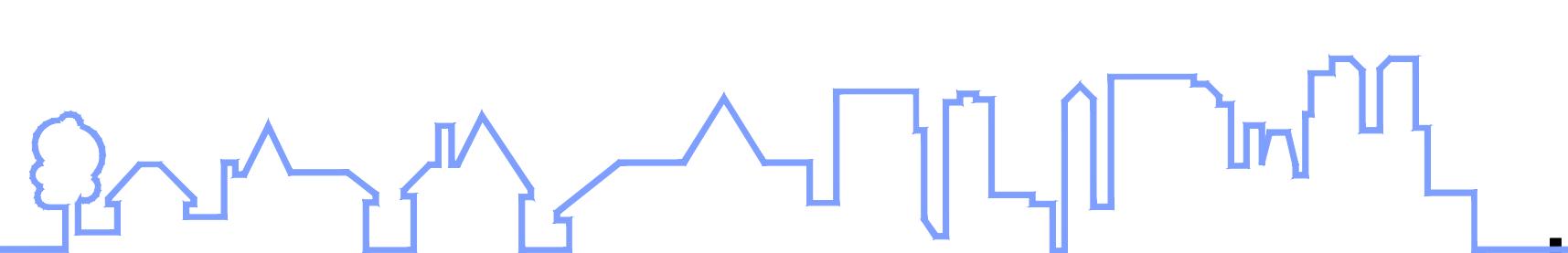
CLIENT:

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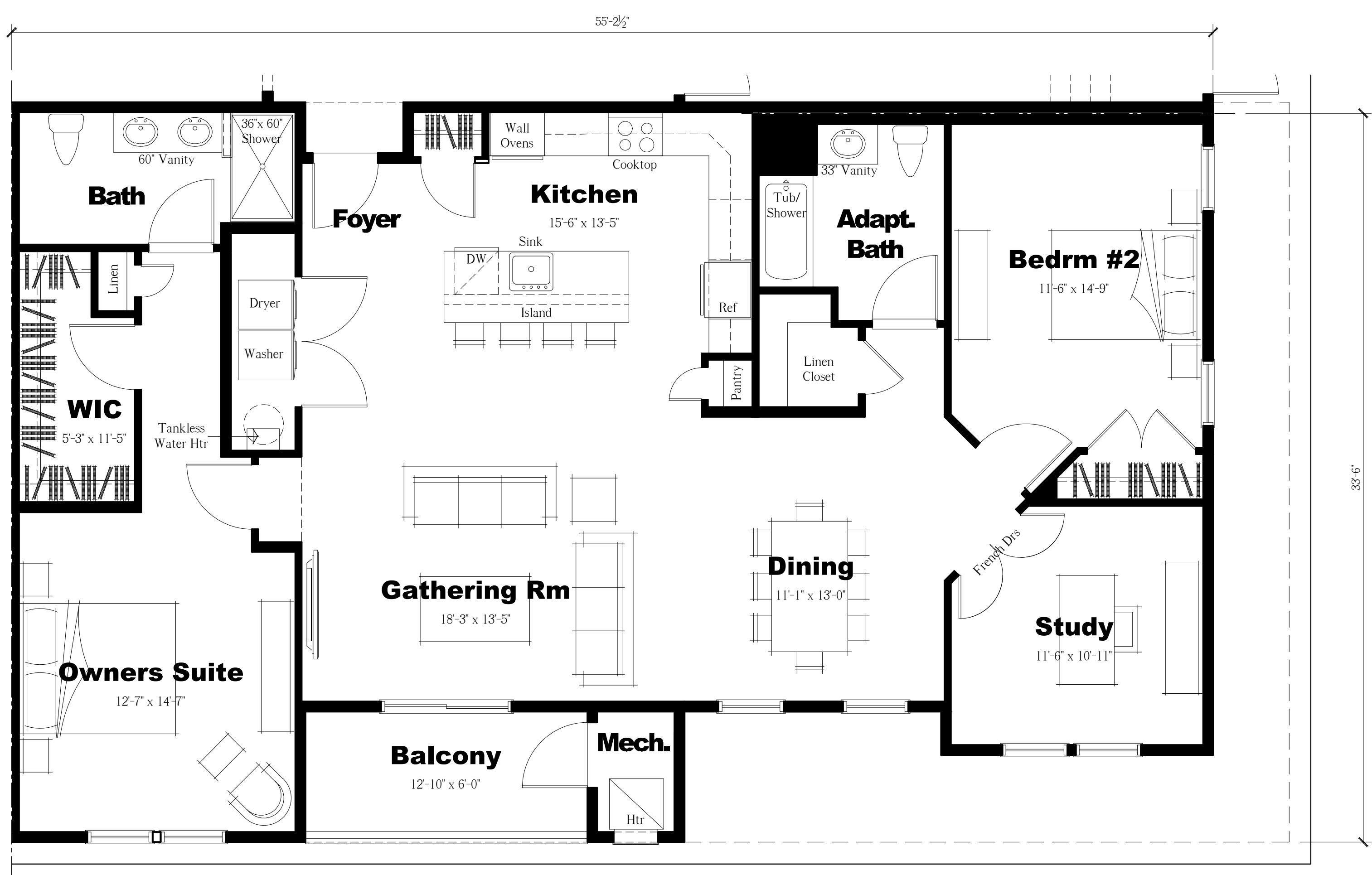
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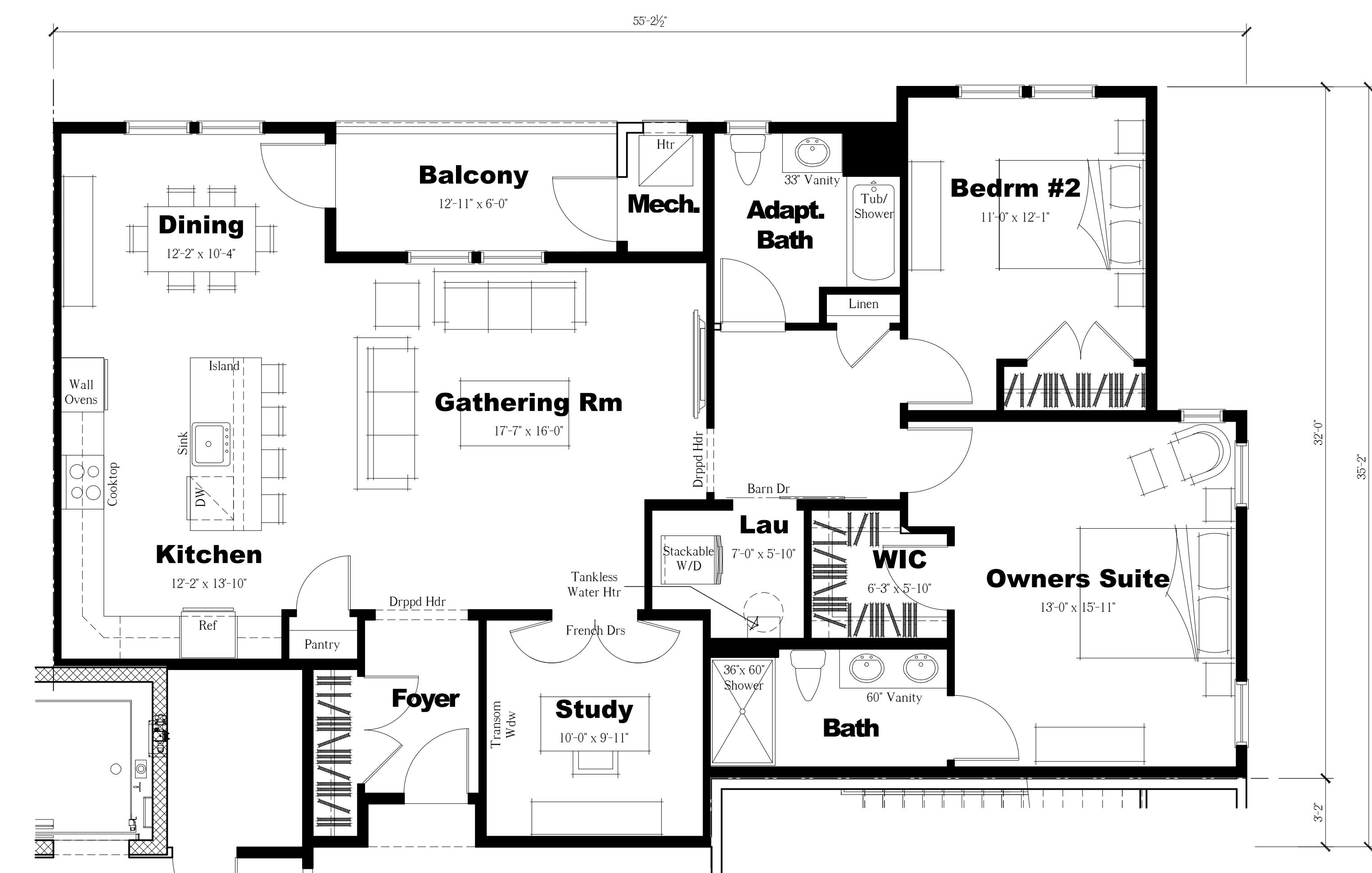


REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	10-Plex Condo Building	
2	1-10-25	Client Revisions	OA Second & Third Flr Plans	
SCALE:	AS NOTED		DATE:	March 14, 2024
PROJ. NO.:	LEN-24022		SK-14.1	



(1,631 sq ft)
Enlarged Unit 'B' Floor Plan

Scale: $\frac{1}{4}$ = 1'-0"



(1,527 sq ft)
Enlarged Unit 'A' Floor Plan

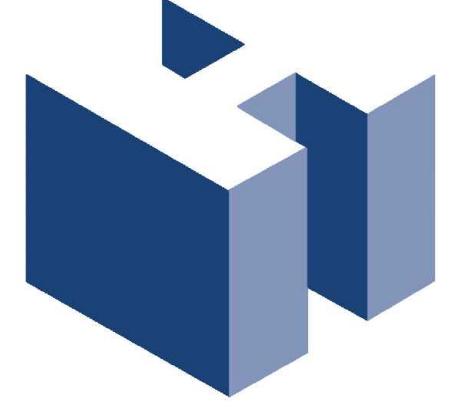
Scale: $\frac{1}{4}$ = 1'-0"

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E-MAIL: info@hollidayarchitects.com

REVISIONS:

1	12-11-24	Client Revisions
2	1-10-25	Client Revisions

SHEET TITLE: 10-Plex Condo Building
Enlarged Unit Plans

SCALE: AS NOTED

PROJ. NO.: LEN-24022

DATE: March 14, 2024

SK-15



Right Side Elevation

Scale: $\frac{1}{8}$ = 1'-0"



Rear Elevation

Scale: $\frac{1}{8}$ = 1'-0"



Left Side Elevation

Scale: $\frac{1}{8}$ = 1'-0"



Front Elevation

Scale: $\frac{1}{8}$ = 1'-0"

Notes:

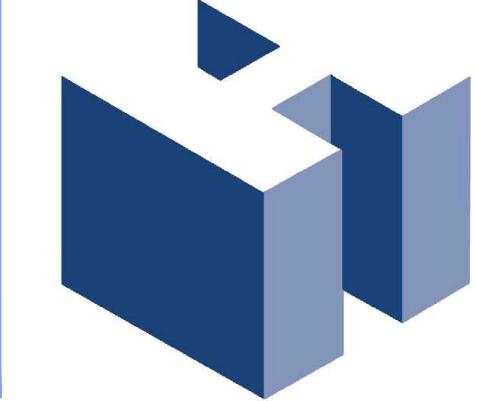
1. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

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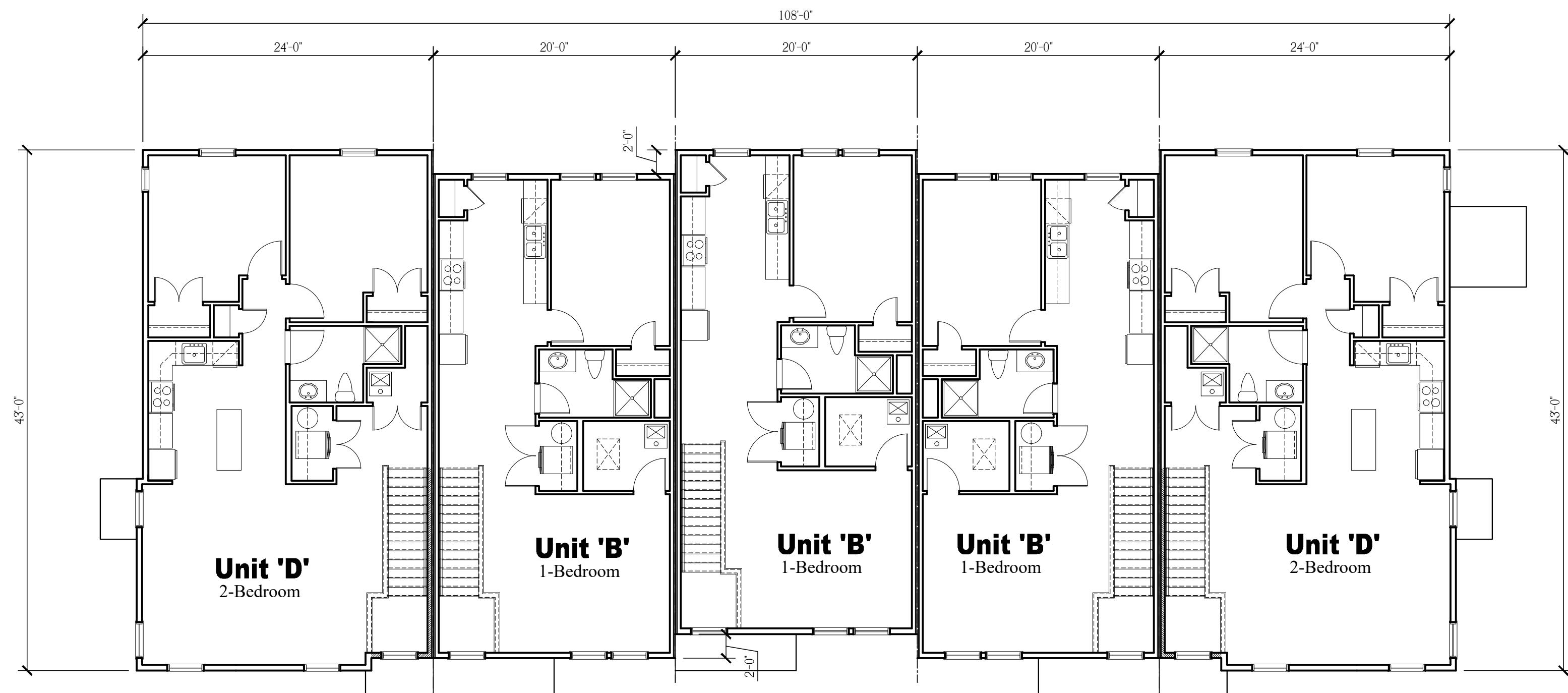
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REVISIONS:

SHEET TITLE: Affordable Housing
10-Unit Building Elevations

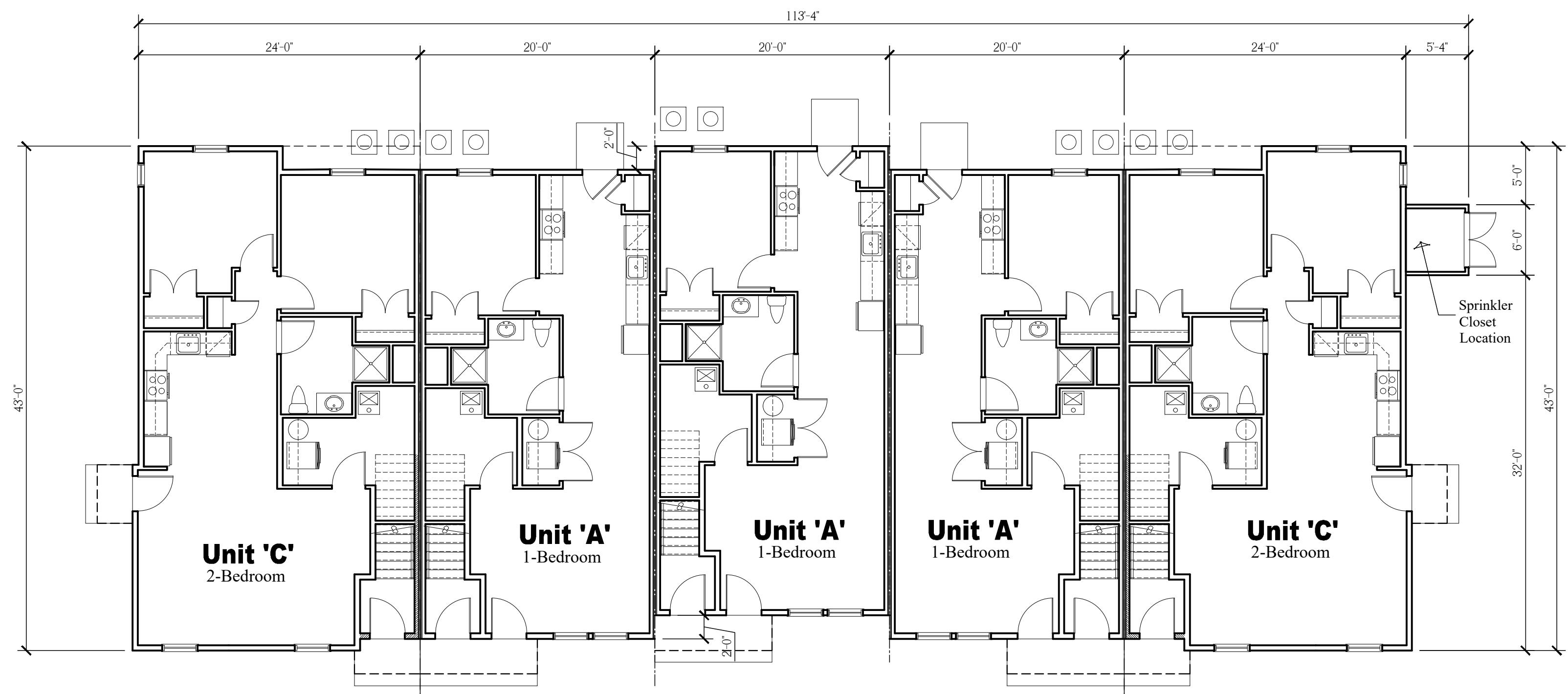
SCALE:	AS NOTED
PROJ. NO.:	LEN-24022
DATE:	March 14, 2024

SHEET NO. **SK-16**



Overall Second Floor Plan (10-Unit Building)

Scale: $\frac{1}{8}$ = 1'-0"



Overall First Floor Plan (10-Unit Building)

Scale: $\frac{1}{8}$ = 1'-0"

UNIT MIX

10-UNIT BUILDING

UNIT TYPE	FIRST FLOOR	SECOND FLOOR	TOTAL NUMBER OF UNITS
UNIT A (1-BR)	3	0	3
UNIT B (1-BR)	0	3	3
UNIT C (2-BR)	2	0	2
UNIT D (2-BR)	0	2	2
TOTAL			10

TOTAL NUMBER OF UNITS

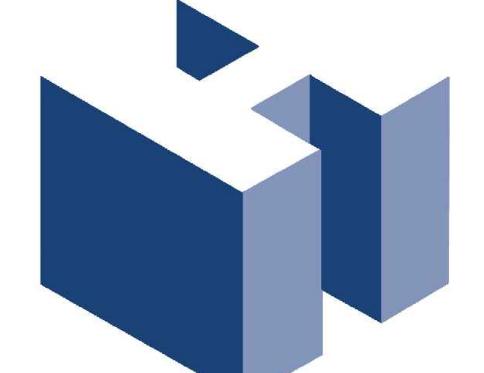
UNIT TYPE	10-Unit Building	TOTAL NUMBER OF UNITS	%
1-BEDROOM	6	6	60%
2-BEDROOM	4	4	40%
TOTAL		10	

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FAX: 609.953.5737

REVISIONS: _____

SHEET TITLE: Affordable Housing
10-Unit Overall Bldg Flr Plans

SCALE:	AS NOTED
PROJ. NO.:	LEN-24022
DATE:	March 14, 2024

SK-16.1



Right Side Elevation

Scale: $\frac{1}{8}$ " = 1'-0"



Rear Elevation

Scale: $\frac{1}{8}$ " = 1'-0"



Left Side Elevation

Scale: $\frac{1}{8}$ " = 1'-0"



Front Elevation

Scale: $\frac{1}{8}$ " = 1'-0"

Notes:

1. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

Highest Roof

Asphalt Roof

Shingles

Mid-Point of Highest Roof

Aluminum Wrapped

Rake and Fascia w/
Synthetic Frieze

Top of Plate

Single-hung Vinyl
Windows w/
Integral Grilles
Between Glass

Second Floor

Top of Plate

Vinyl Board and
Batten Siding

Horizontal Vinyl
Siding w/ Min 4" &
Max 8" Exposures

First Floor

Average Grade at Street,
Front Elevation, Facing
Side

8'-1"

24'-6"

30'-1 1/4"

8'-1"

8'-1"

8"

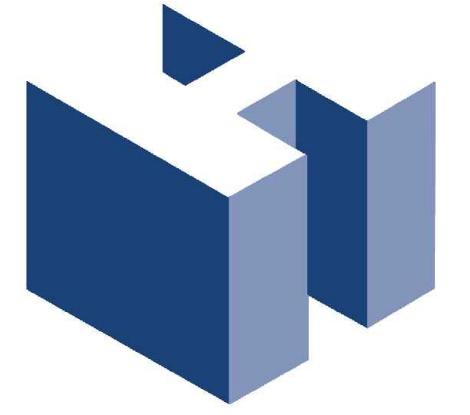
NOTE:
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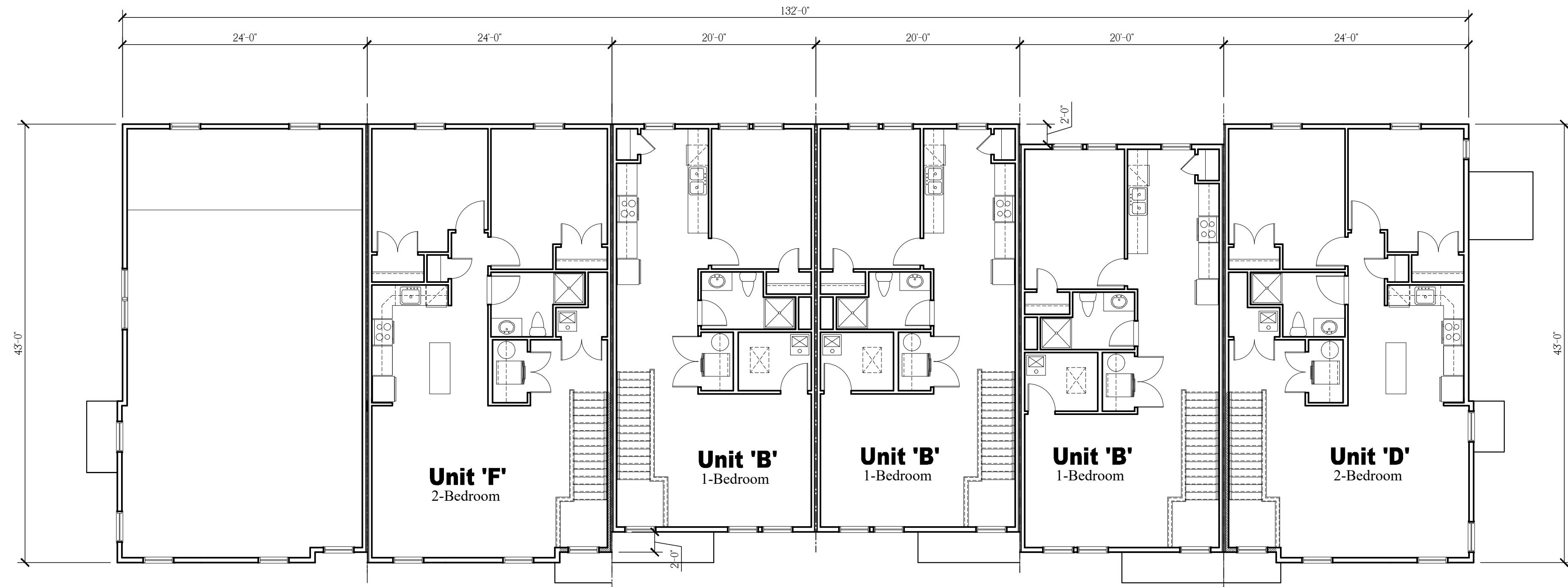
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Hopewell Township Mercer County, New Jersey

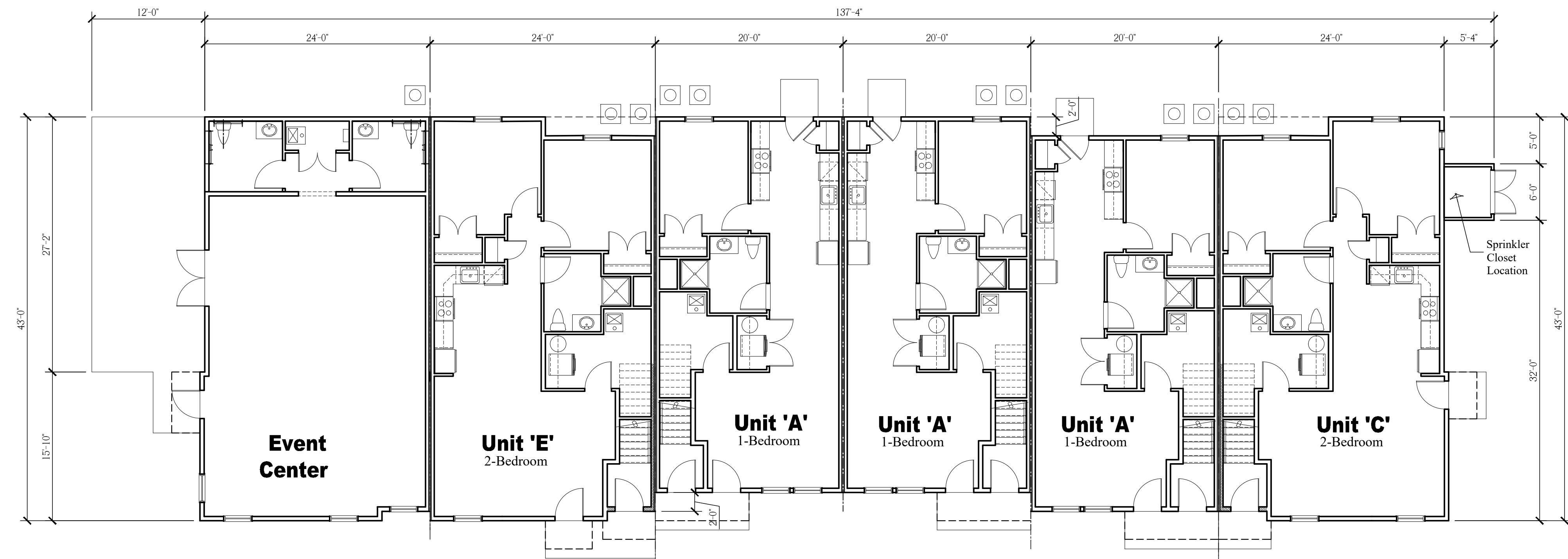


REVISIONS:			SHEET TITLE:	
			Affordable Housing 10-Unit/ Event Building Elevs	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SHEET NO.	
			SK-17	



Overall Second Floor Plan (10-Unit/ Event Building)

Scale: $\frac{1}{8}$ = 1'-0"



Overall First Floor Plan (10-Unit/ Event Building)

Scale: $\frac{1}{8}$ = 1'-0"

UNIT MIX

10-UNIT BUILDING

UNIT TYPE	FIRST FLOOR	SECOND FLOOR	TOTAL NUMBER of UNITS
UNIT A (1-BR)	3	0	3
UNIT B (1-BR)	0	3	3
UNIT C (2-BR)	2	0	2
UNIT D (2-BR)	0	2	2
TOTAL			10

TOTAL NUMBER OF UNITS

UNIT TYPE	10-Unit Building	TOTAL NUMBER of UNITS	%
1-BEDROOM	6	6	60%
2-BEDROOM	4	4	40%
TOTAL		10	

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FAX: 609.953.5737

REVISIONS: _____

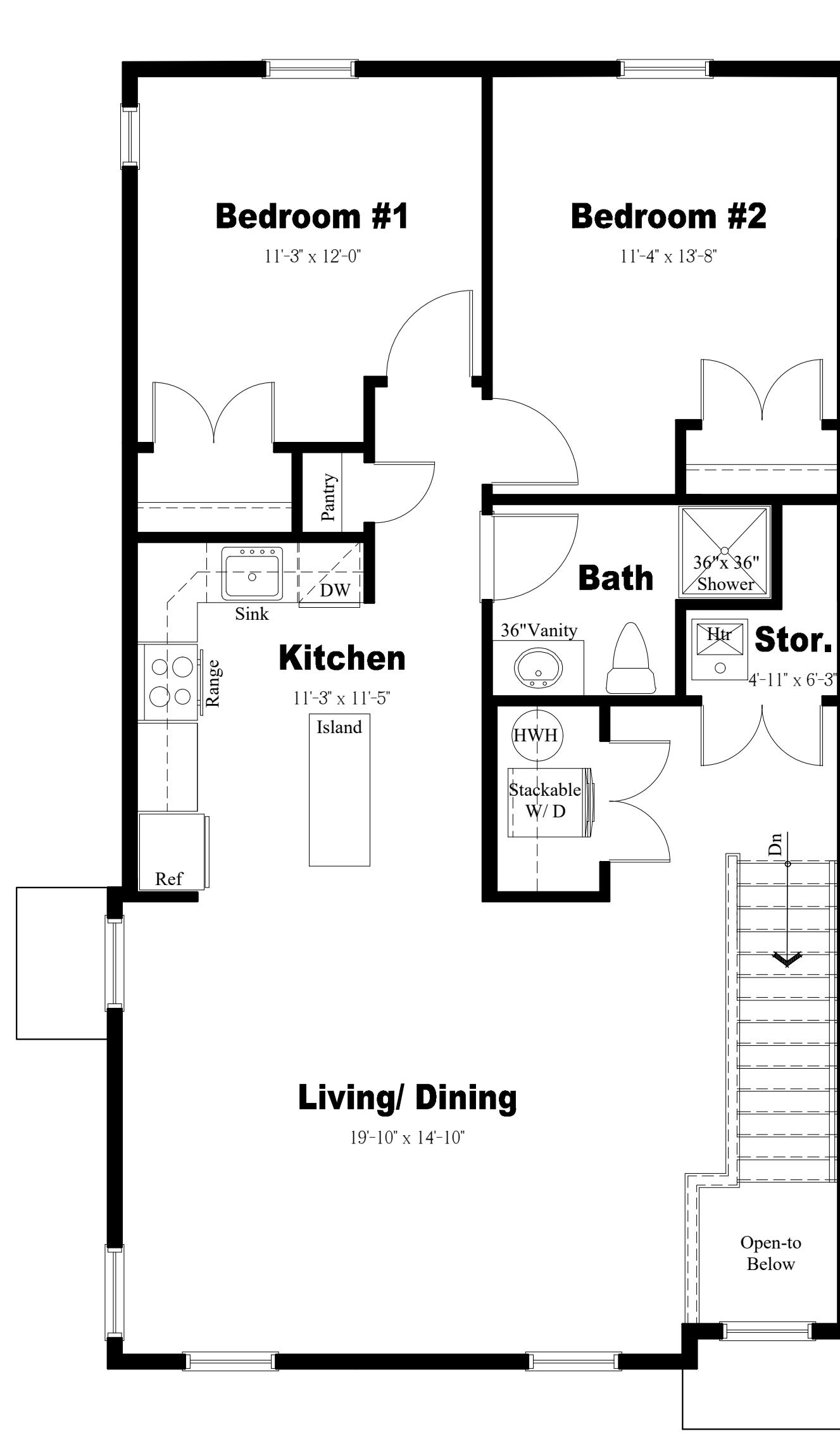
SHEET TITLE: Affordable Housing
10-Unit/ Event OA Bldg Flr Plans

SCALE:	AS NOTED
PROJ. NO.:	LEN-24022
DATE:	March 14, 2024

SHEET NO. **SK-17.1**

AREA CALCULATIONS

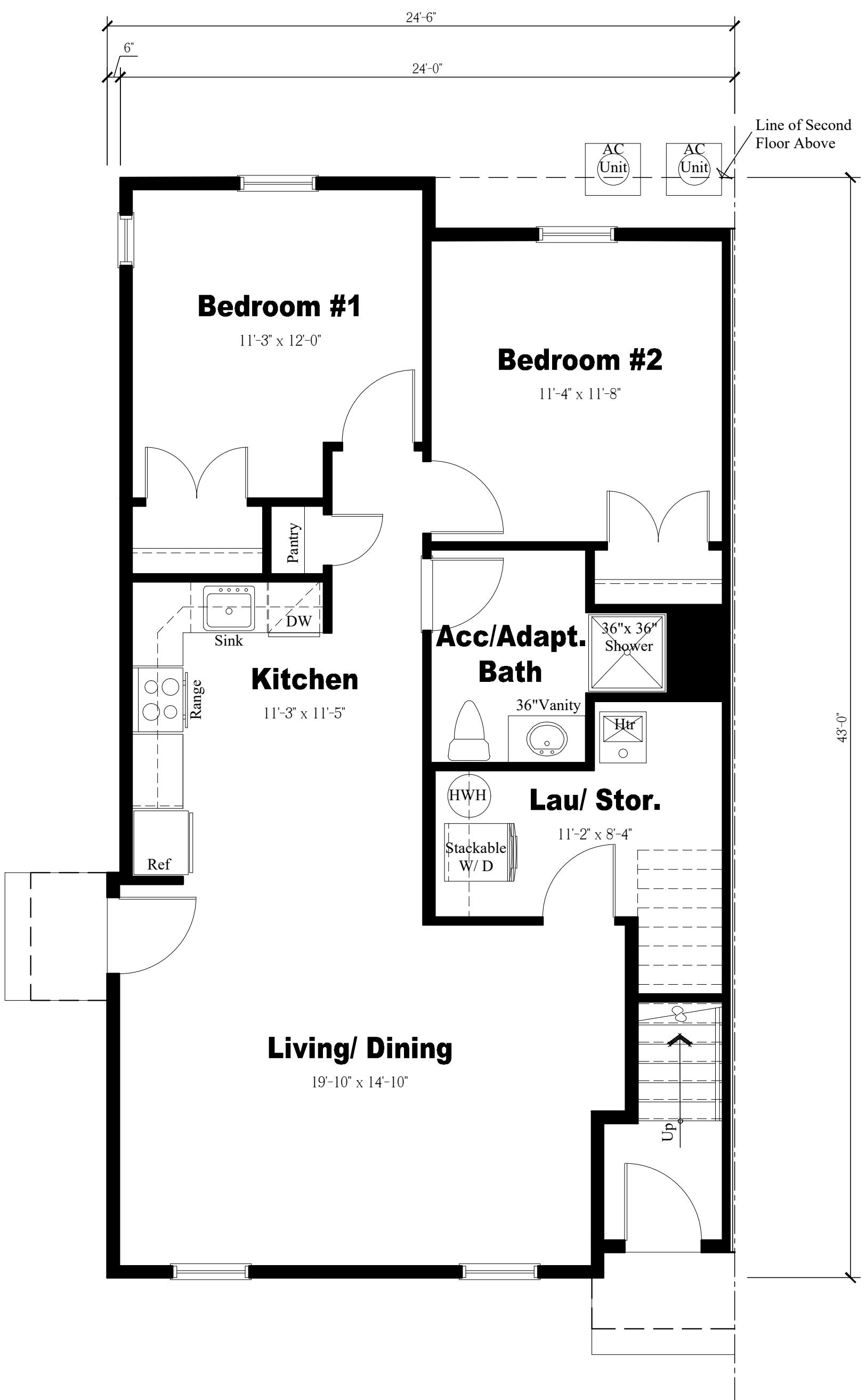
UNIT TYPE	FIRST FLOOR SQ FTG	SECOND FLOOR SQ FTG	TOTAL SQ FTG
UNIT A (1-BR)	774	0	774
UNIT B (1BR)	44	730	774
UNIT C (2-BR)	779	0	779
UNIT D (2-BR)	44	748	792
UNIT E (2-BR)	779	0	779
UNIT F (2-BR)	44	748	792
EVENTSPACE	1,034	0	1,034



Unit D (2-Bedroom)

Second Floor Plan- End Unit

Scale: $\frac{1}{4}'' = 1'-0''$

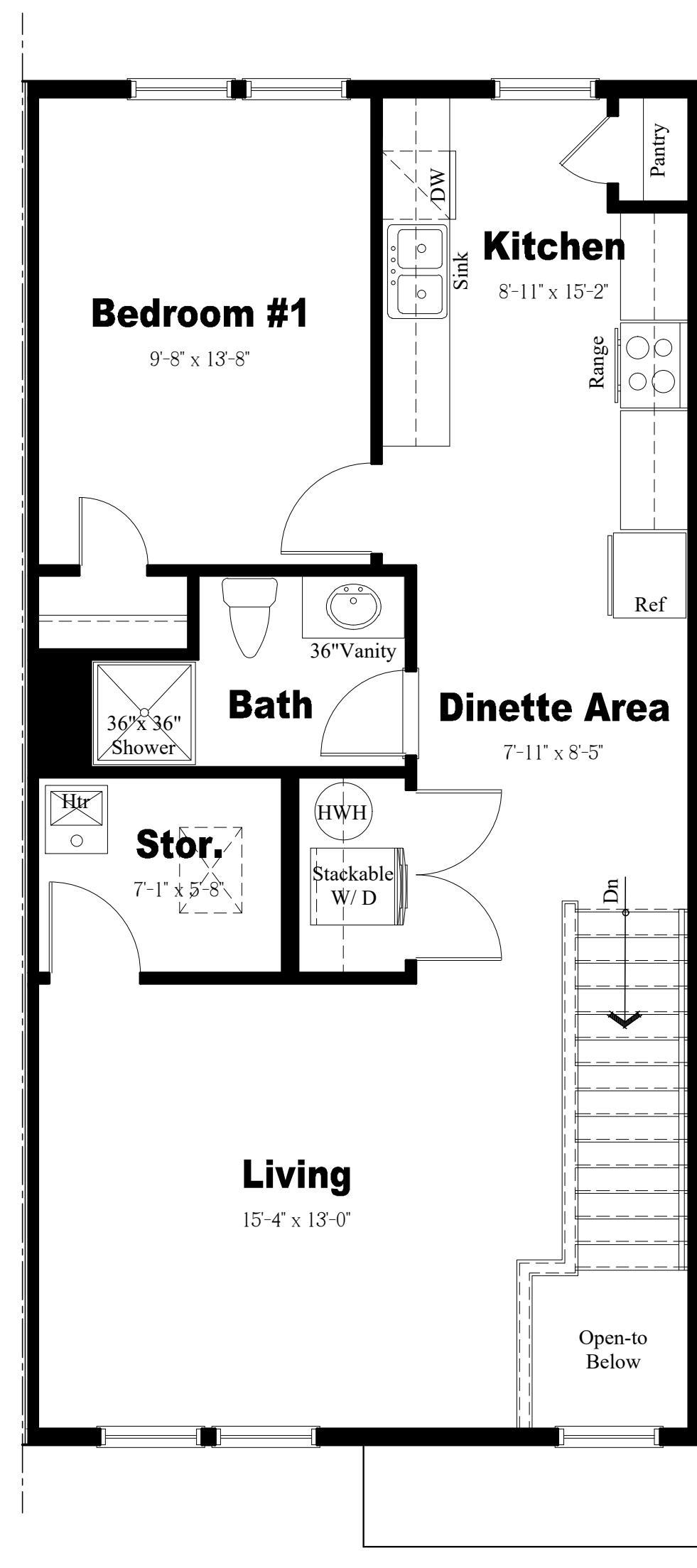


Unit C (2-Bedroom)

Adaptable/ Accessible Unit

First Floor Plan- End Unit

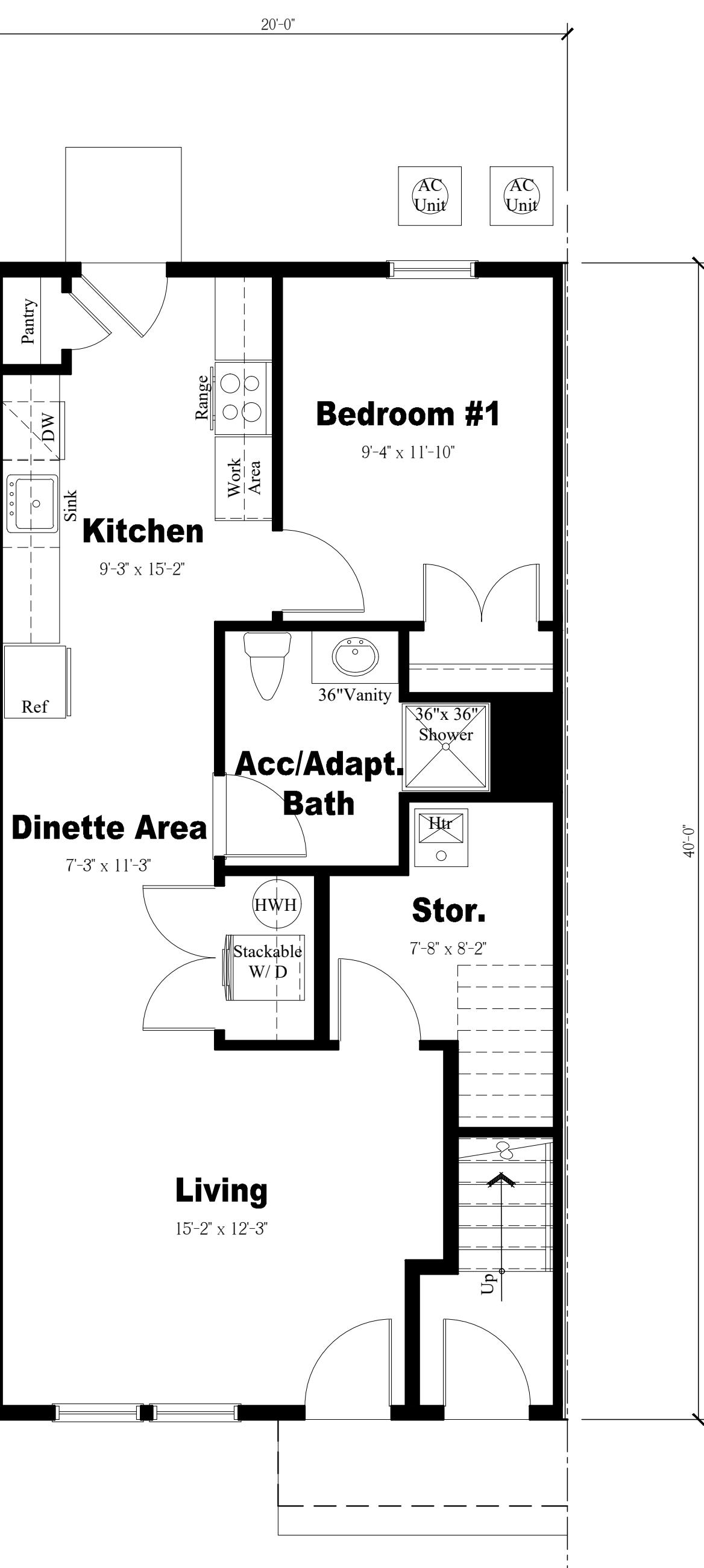
Scale: $\frac{1}{4}'' = 1'-0''$



Unit B (1-Bedroom)

Second Floor Plan- Interior Unit

Scale: $\frac{1}{4}'' = 1'-0''$



Unit A (1-Bedroom)

Adaptable/ Accessible Unit

First Floor Plan- Interior Unit

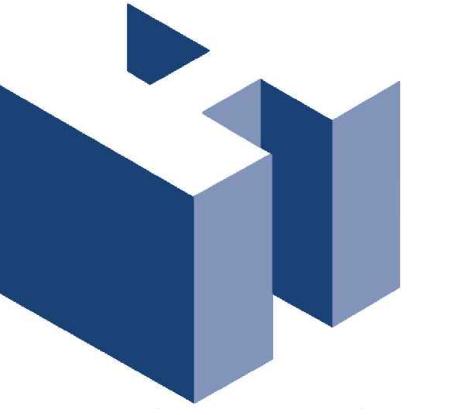
Scale: $\frac{1}{4}'' = 1'-0''$

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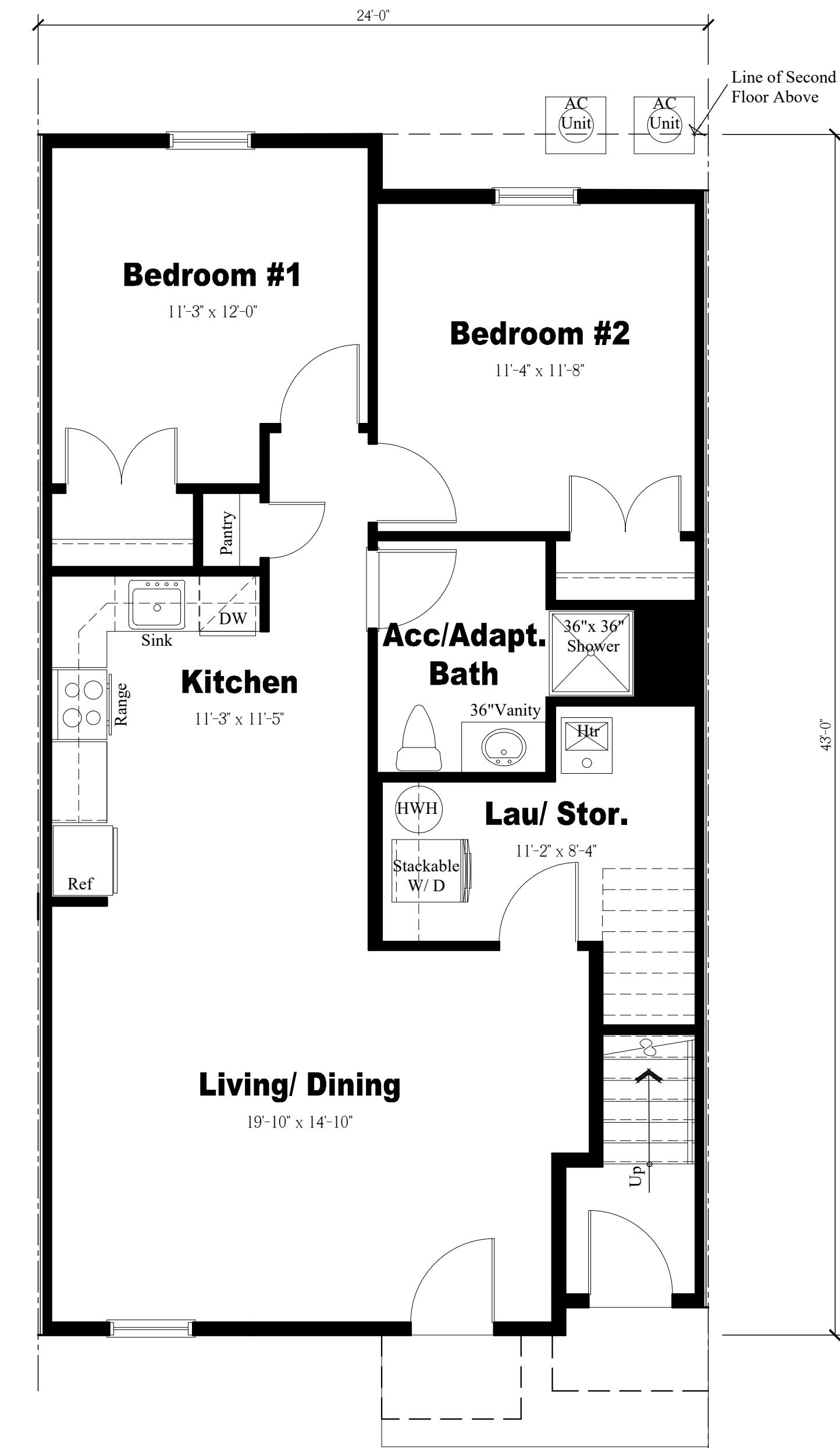
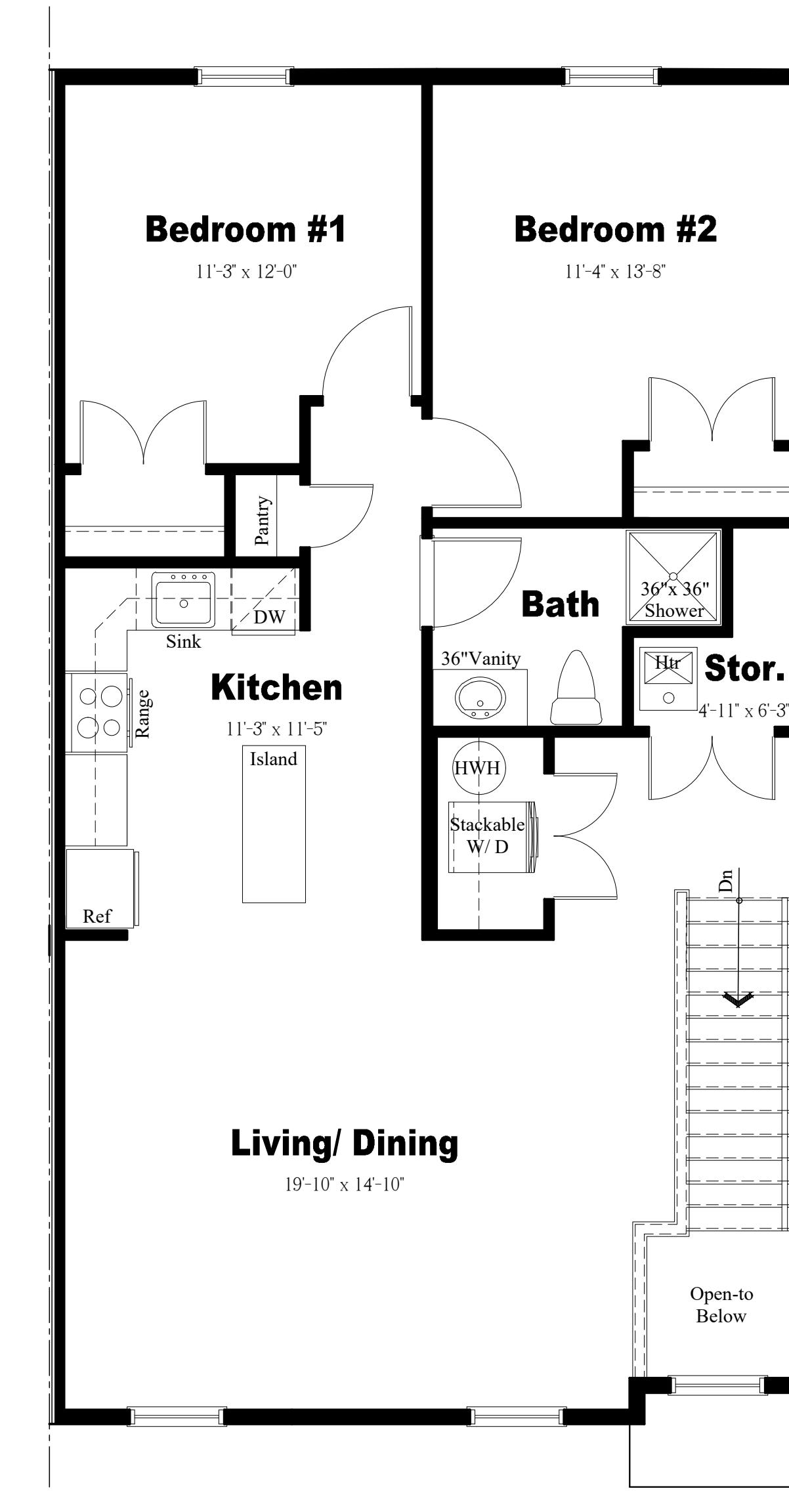
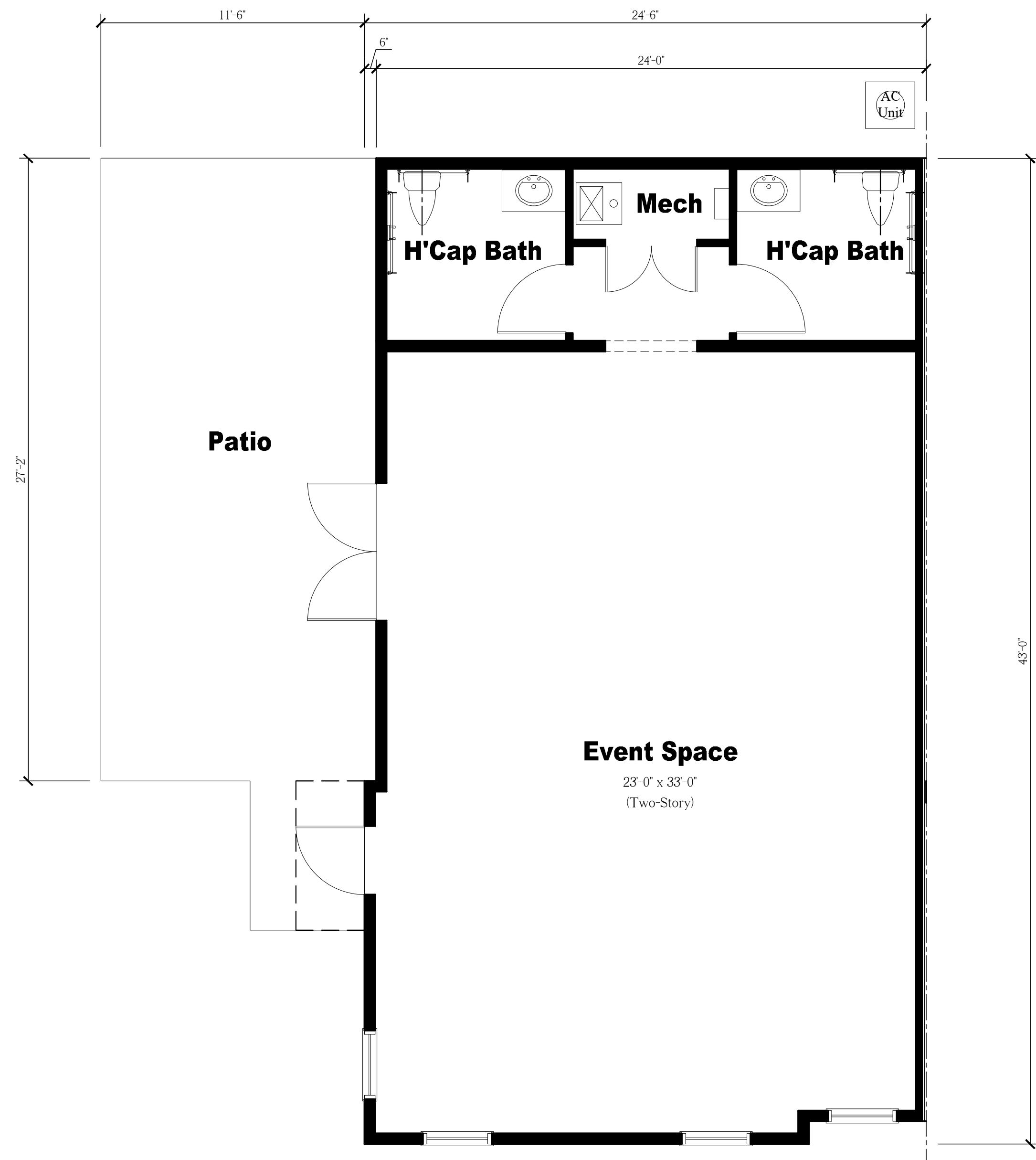
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REVISIONS:	SHEET TITLE: Affordable Housing Enlarged Floor Plans		
	SCALE:	AS NOTED	SHEET NO.
	PROJ. NO.:	LEN-24022	SK-18
	DATE:	March 14, 2024	

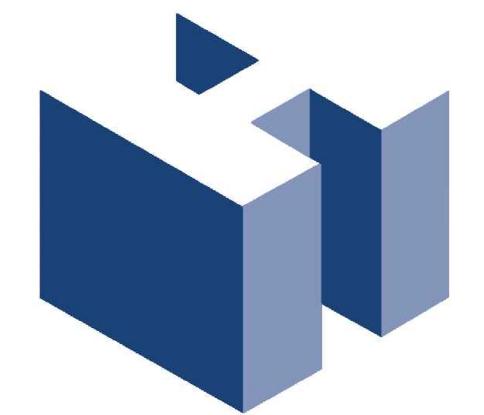


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REVISIONS: SHEET TITLE: Affordable Housing Enlarged Floor Plans

SCALE: AS NOTED SHEET NO. SK-18.1

PROJ. NO.: LEN-24022

DATE: March 14, 2024

Notes:

1. All Building Elevations and Plans are a Depiction of a Typical Configuration. Refer to Current Site Plans Provided by Engineer of Record for all Final Grading.
2. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

**Left Side Elevation**Scale: $\frac{3}{16}$ = 1'-0"**Front Elevation**Scale: $\frac{3}{16}$ = 1'-0"

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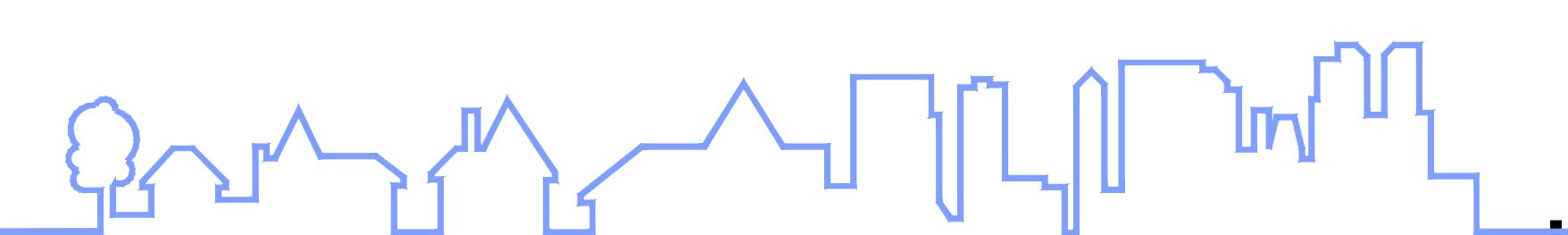
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REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	Clubhouse Elevations	
2	1-10-25	Client Revisions		
SCALE: AS NOTED				
PROJ. NO.:	LEN-24022			
DATE:	March 14, 2024			

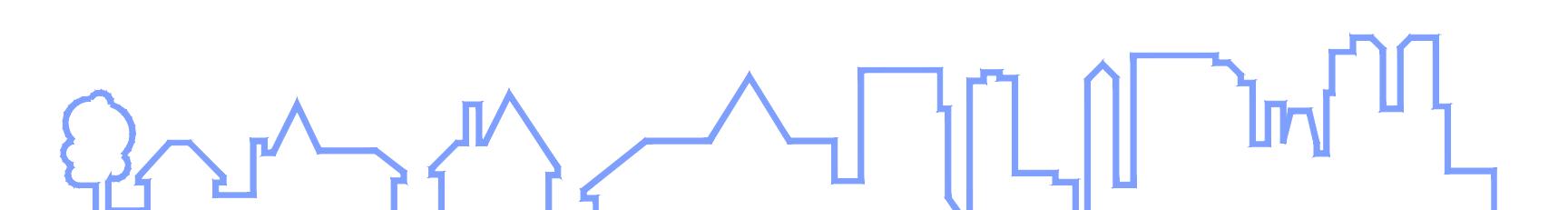
SK-19

Notes:

1. All Building Elevations and Plans are a Depiction of a Typical Configuration. Refer to Current Site Plans Provided by Engineer of Record for all Final Grading.
2. Downspouts & Aluminum 'K' Gutters will be Provided but are Not Shown for Clarity

**Right Side Elevation**Scale: $\frac{3}{16}'' = 1'-0''$ **Rear Elevation**Scale: $\frac{3}{16}'' = 1'-0''$ **NOTE:**

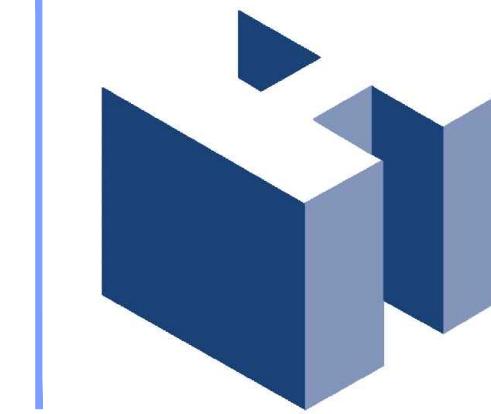
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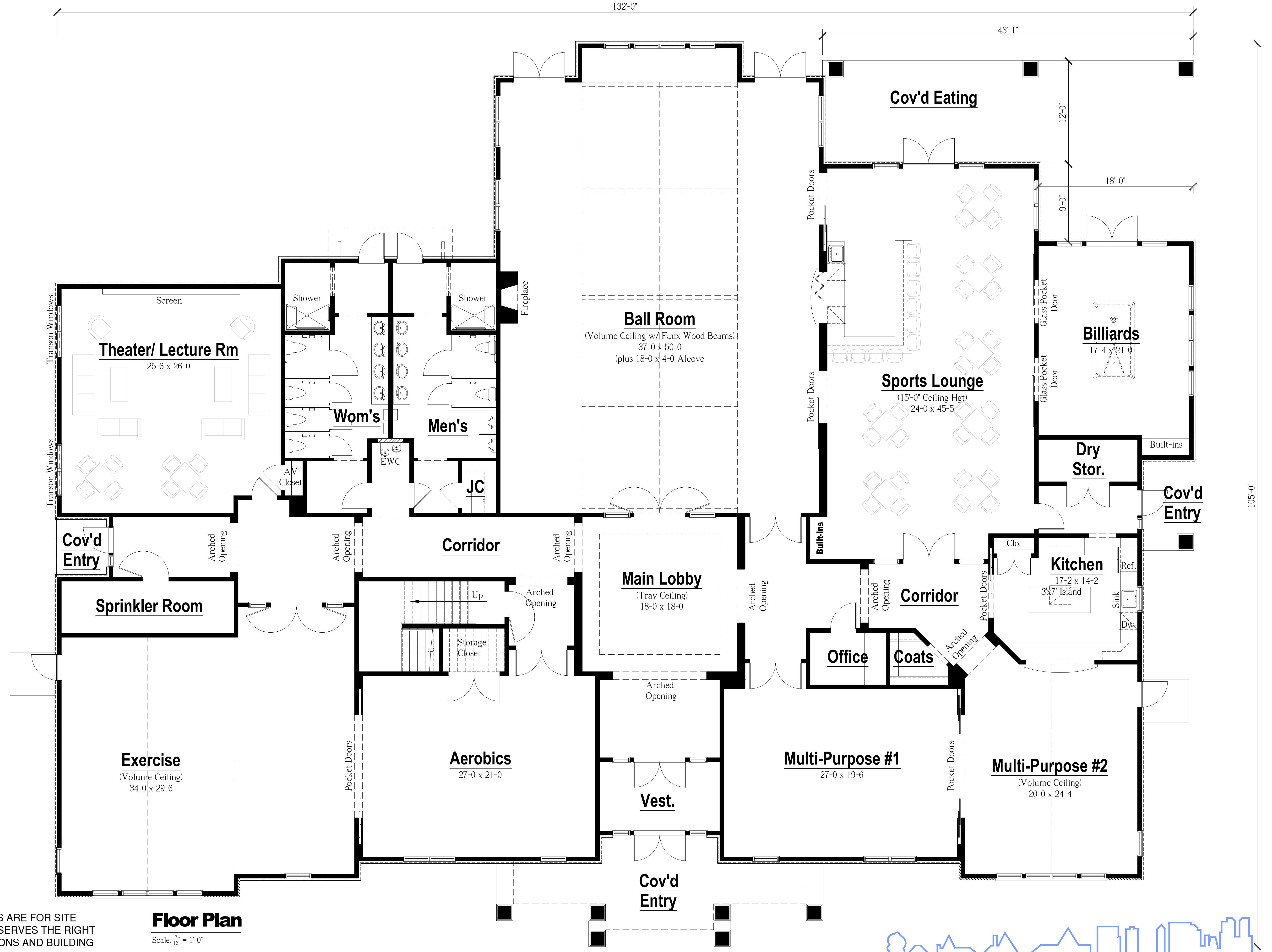
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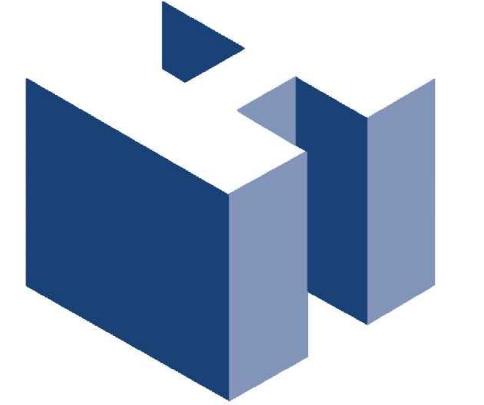
REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	Clubhouse Elevations	
2	1-10-25	Client Revisions	SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
SHEET NO. SK-19.1				



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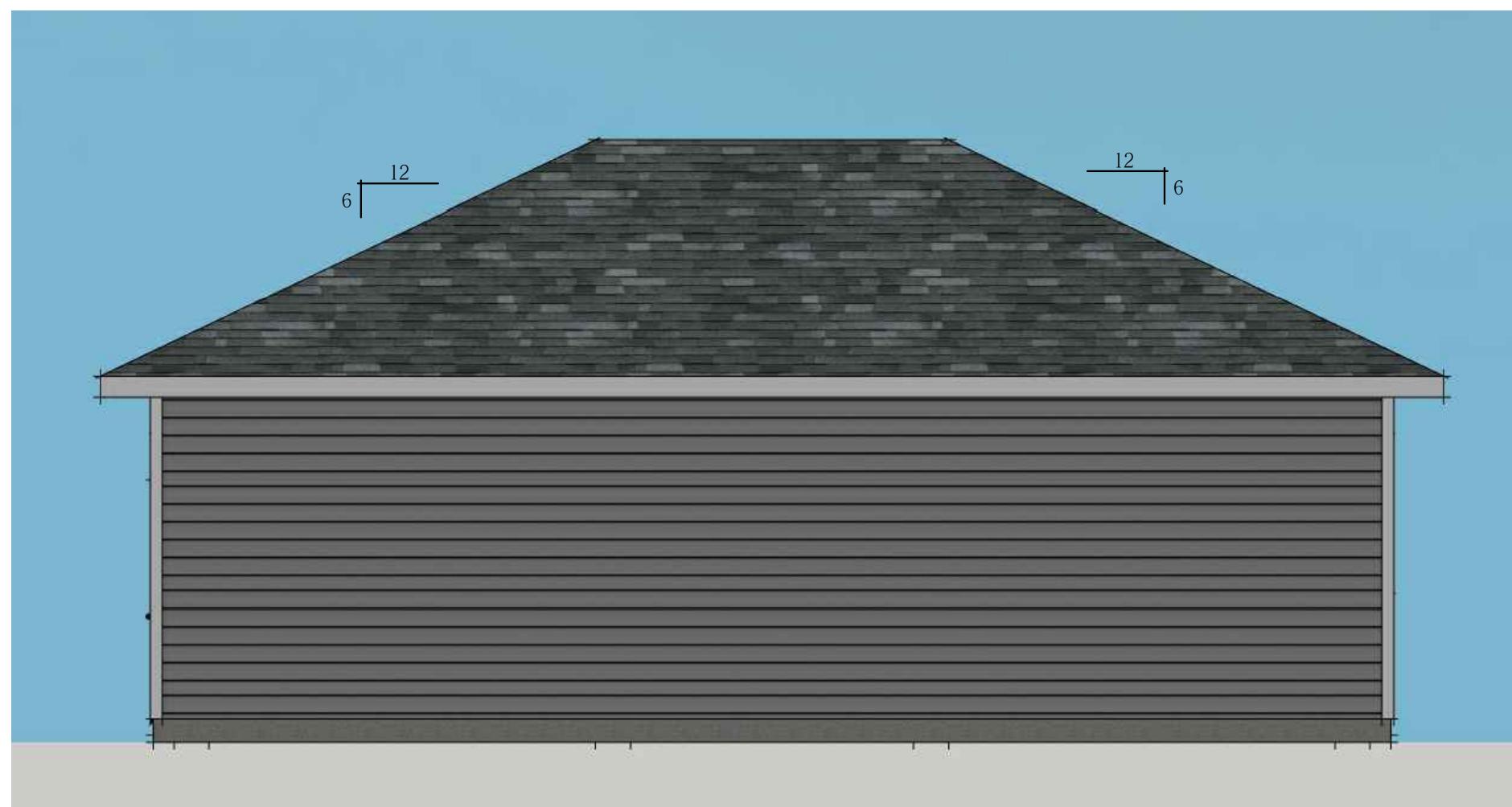
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REVISIONS:
1 12-11-24 Client Revisions
2 1-10-25 Client Revisions

SHEET TITLE: Clubhouse Floor Plan
SCALE: AS NOTED
PROJ. NO.: LEN-24022
DATE: March 14, 2024

SK-20

Pool Cabana



Rear Elevation

Scale: $\frac{1}{4}'' = 1'-0''$



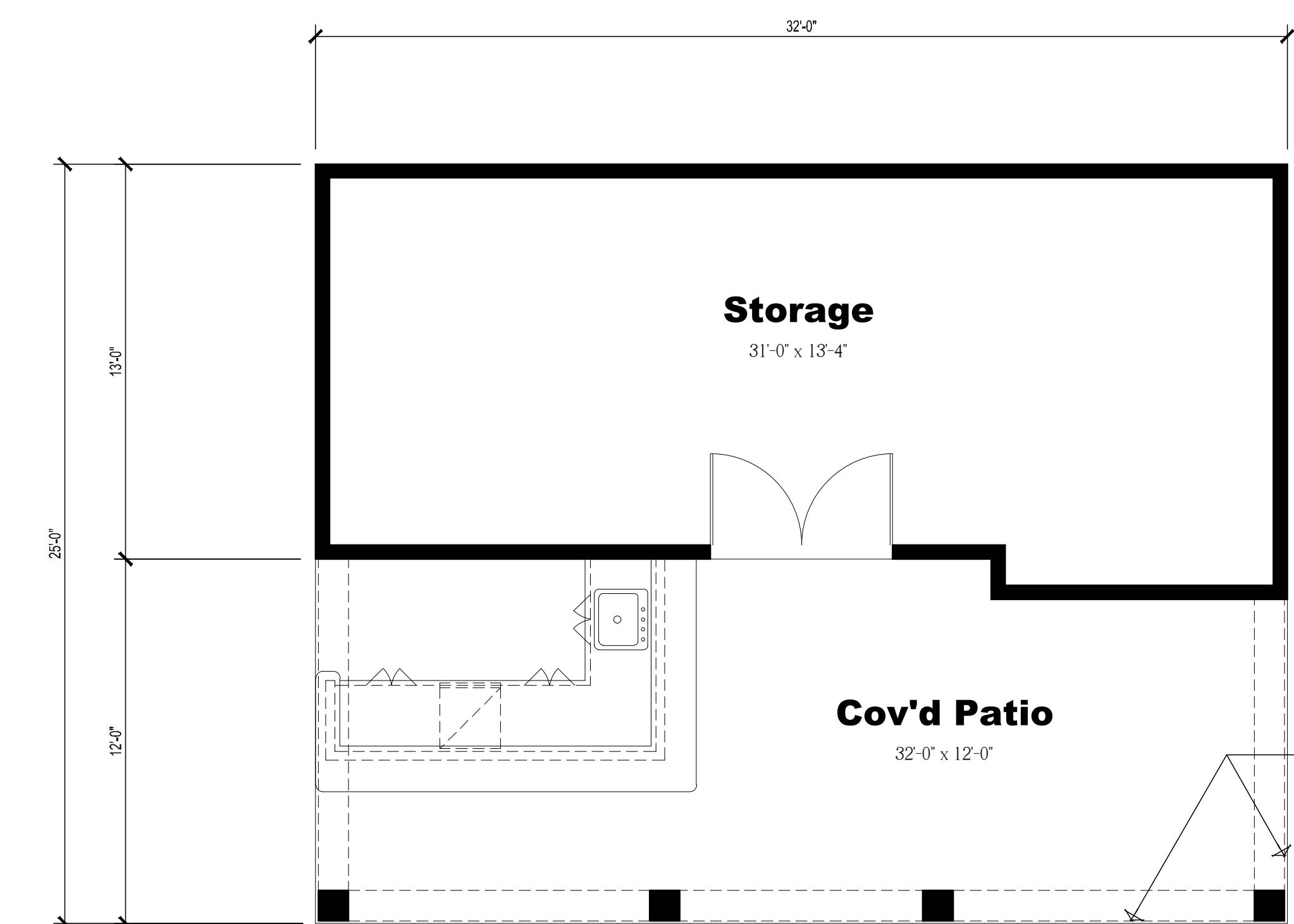
Right Elevation

Scale: $\frac{1}{4}'' = 1'-0''$



Left Elevation

Scale: $\frac{1}{4}'' = 1'-0''$



Floor Plan

Scale: $\frac{1}{4}'' = 1'-0''$

Area Calculations

Total Area: **428 sq ft**

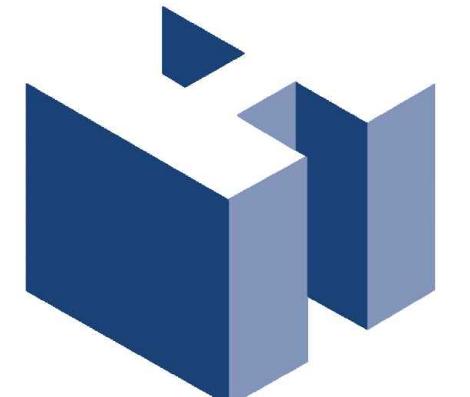
REVISIONS:			SHEET TITLE:	
1	12-11-24	Client Revisions	Clubhouse	
2	1-10-25	Client Revisions	Floor Plan & Elevations	
			SCALE:	AS NOTED
			PROJ. NO.:	LEN-24022
			DATE:	March 14, 2024
			SK-21	

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SK-21