

HOPEWELL VALLEY SENIOR COMMUNITY CENTER

FOR THE
HOPEWELL TOWNSHIP MERCER COUNTY, NJ



T&M ASSOCIATES
SITE / CIVIL ENGINEER

SPIEZE ARCHITECTURAL GROUP, INC.
1395 YARDVILLE HAMILTON SQUARE ROAD
SUITE 2A
HAMILTON, NJ 08691
Phone: 609.695.7400 Fax: 609.394.2274
www.spiezie.com

CODE SUBMISSION:
BID DATE:

PLANNING BOARD SUBMISSION 06/17/2024

HOPEWELL VALLEY SENIOR
COMMUNITY CENTER










24M001

DRAWING NUMBER

CS.1

CA	CONTROL JOINT
CB	CONCRETE REINFORCER JOINT
CFM	COLD-FORMED METAL FINISHING
DRG	DRAWING
FPI	FIBER INSULATION AND FRESH-SYSTEM
EL	ELEVATION
EQ	EQUAL
EP	EXPANSION JOINT
ESC	ESSENTIAL WARMER COOLER
FE	FIRE EXTINGUISHING (BRACKET) HOOKS
FF	FIRE EXTINGUISHING CABINET
FT	FOOT OF FEET
FTB	FIRE-RESISTANT TREATMENT WOOD
GALV	GALVANIZED
GF	GROSS SQUARE FEET
GWB	GUTTER WALL BOARD
HM	HOLLOW METAL
LP	LOW POINT
MAC	MAJOR
MIN	MINIMUM
MO	MODERATE OPENING
NA	NOT APPLICABLE
NAC	NOT IN CONTRACT
NF	NET SQUARE FEET
OC	OPEN CENTER
OD	OUTER DIAMETER
OTD	OUTER DIAMETER
PTD	POINT OF TENSION
PTD	POINT OF TENSION
PTD	POINT OF TENSION
PVC	POLYVINYL CHLORIDE
PC	PERMANENT
RF	REINFORCED OR REINFORCING
RF	REINFORCING
SC	SQUARE FEET
STB	STANDARD
ST	STANDARD
VF	VERY FINE

	BATT MINERAL WOOL INSULATION
	BRICK
	CONCRETE
	CONCRETE MASONRY UNIT (CMU)
	EARTH
	FIRE SAFING
	GYPSEUM WALL AND/OR CEILING BOARD
	MORTAR NET
	MORTAR / GROUT
	PLYWOOD
	POROUS SUB-FILL OR SLAB AGGREGATE
	RIGID INSULATION
	SPRAY FOAM INSULATION
	STEEL
	STONE
	CONTRAJOIST WOOD BLOCKING
	WOOD SHIM OR BLOCKING

 SMOOP TAG DETAIL NO.	DETAIL IDENTIFICATION
 SMOOP TAG OPEN HEAD SECTION NO. DRAWING NO.	BUILDING SECTION IDENTIFICATION
 SMOOP TAG CLOSED HEAD SECTION NO. DRAWING NO.	WALL SECTION IDENTIFICATION
EXTERIOR  DETAIL NO. INTERIOR  DRAWING NO.	ELEVATION MARK
ROOM NAME ROOM NUMBER GROSS SQUARE FOOTAGE NET SQUARE FOOTAGE OCCUPANTS	ROOM TAG COLUMN NUMBER
 DOOR NUMBER	REVISION NUMBER
 WINDOW TYPE	PARTITION TYPE
 CURTAIN WALL or STOREFRONT TAG	DATE of ELEVATION TAKEN CONTINUE
NAME ELEVATION 	VIEW REFERENCE

DWG. NO.	TITLE	CURRENT REVISION
CS1	COVER	
CS2	NOTES, ABBREVIATIONS AND LIST OF DRAWINGS	
CS3	COVER SHEET	
CS4	EXISTING CONDITION PLAN - OVERALL	
CS5	EXISTING CONDITIONS & DEMOLITION PLAN 1	
CS6	EXISTING CONDITIONS & DEMOLITION PLAN 2	
CS7	OVERALL SITE LAYOUT PLAN	
CS8	SITE LAYOUT PLAN 1	
CS9	SITE PLAN 1	
CS10	LIGHTING PLAN	
CS11	CONSTRUCTION DETAILS 1	
CS12	PROPOSED & SITE IMPROVEMENTS PLAN	
AR1	ARCHITECTURAL	
AR2	FIRST FLOOR PLAN	
AR3	SECOND FLOOR PLAN	
AR4	EXTERIOR ELEVATIONS	
AR5	EXTERIOR ELEVATIONS	

CERTIFICATE:



SPIEGLER ARCHITECTURAL GROUP INC.
1395 YARDVILLE HAMILTON SQUARE ROAD
SUITE 2A
HAMILTON, NJ 08691
PHONE: 609-935-7400

SIGNATURE:	
BERNARD & PERRINO	21A0150600
SCOTTE DOWNE	21A0187600
STEVEN LEONE	21A0177900
STEVEN S. SEGEL	21A0158400
FRANCO ALBERTO	21A0108000
JOHN P. VINCIG	21A0176200
SHAW & ARCHITECTURAL GROUP, INC.	21A0300000

SEAL:

CONSULTANTS:

PLANNING BOARD
SUBMISSION 06/17/2024

PROJECT:

HOPEWELL VALLEY
SENIOR COMMUNITY
CENTER

OR

HOPEWELL TOWNSHIP
MERCER COUNTY, NJ

FOR CODE REVIEW:

REVISIONS:		
	REVISION NAME	DATE

FOR BID:

DRAWING TITLE:

NOTES, ABBREVIATIONS
AND LIST OF DRAWINGS

COMMISSION NUMBER:

24M001

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:

CS.2

PRELIMINARY SITE PLANS FOR

HOPEWELL VALLEY SENIOR + COMMUNITY CENTER


APPLICANT:

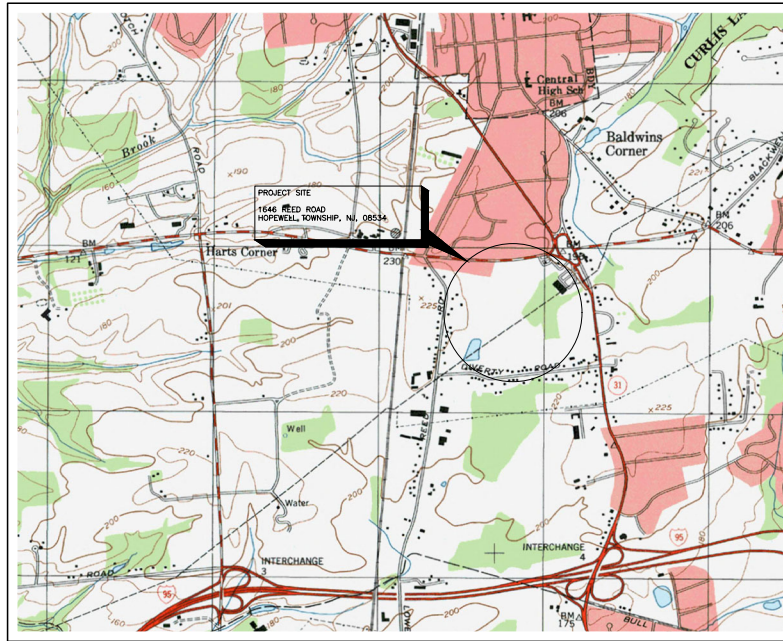
HOPEWELL TOWNSHIP
201 WASHINGTON CROSSING PENNINGTON ROAD
TITUSVILLE, NJ 08560

OWNERS:

HOPEWELL VALLEY YMCA
62 SOUTH MAIN STREET
PENNINGTON, NJ 08534
C/O DOUGLAS PSZCZOLKOWSKI, CEO
609-737-3048
US HOME AT HOPEWELL URBAN RENOVATION, LLC
2465 KUSER ROAD, 3RD FLOOR
HAMILTON, NJ 08690
C/O MITCHELL NEWMAN
609-515-0011

1646 REED ROAD
HOPEWELL TOWNSHIP, NJ 08534

UTILITY OWNERS	
TRENTON WATER COMPANY PO BOX 528 TRENTON, NJ 08604	
VERIZON 9 GATES AVENUE, NO. 2 MONTCLAIR, NJ 07042	
JERSEY CENTRAL POWER & LIGHT C/O DU SET TAX PO BOX 1911 MORRISTOWN, NJ 07962-1911	
AT&T 1 AT&T WAY BECUMSTER, NJ 07921	
COMCAST CABLE 940 PROSPECT STREET TRENTON, NJ 08618	
TRANSCONTINENTAL GAS PIPE LINE 2800 POST OAK BLVD. HOUSTON, TX 77251-1396	
ELSA 600 WHITEHEAD ROAD LAWRENCEVILLE, NJ 08648	
MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, 16B NEWARK, NJ 07102	
ELIZABETHTOWN GAS COMPANY PO BOX 3175 UNION, NJ 07083-1975	
NJ AMERICAN WATER CO. INC. CONTROL DEVICES 1025 LAUREL OAK RD VOORHIES, NJ 08043	
SUN PIPE LINE/RIGHT OF WAY DEPT. MONELLO COMPLEX 525 PRITCHETT RD SINKING SPRINGS, PA 19608	
LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE NOT WARRANTED AS TO EXACTNESS. CONTRACTOR SHALL DETERMINE EXACT LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND OTHER APPLICABLE LAWS.	
	



KEY MAP

PREPARED BY
ROBERT E. HUNTER III, P.E., C.M.E.
VICE PRESIDENT, OPERATIONS MANAGER



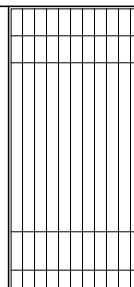
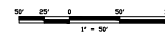
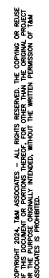
200 CENTURY PARKWAY, SUITE 2
MILWAUKEE, WISCONSIN
53219-2444
TEL: 414-762-1234
FAX: 414-762-1235
WWW.MEERBOARD.COM
FOR MORE INFORMATION, CONTACT US AT 414-762-1234

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING CONDITION PLAN - OVERALL
3	EXISTING CONDITIONS & DEMOLITION PLAN 1
4	EXISTING CONDITIONS & DEMOLITION PLAN 2
5	OVERALL SITE LAYOUT PLAN
6	SITE LAYOUT PLAN 1
7	SITE LAYOUT PLAN 2
8	LIGHTING PLAN
9	CONSTRUCTION DETAILS 1

GENERAL NOTES

- HORIZONTAL DATUM IS IN THE NEW JERSEY PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM, 1988.
NGVD 1929 = NAVD 1988 + 1.08'
- ALL DIMENSIONS, UNITS, ETC. ARE IN THE U.S. CUSTOMARY SYSTEM.
- THE CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINT MARKS FROM DAMAGE AND SHALL ESTABLISH OFFSET POINTS AS REQUIRED FOR ITS WORK.
- LOCATIONS OF EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO EXCAVATION.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO GROUND DISTURBANCE.
- DEPRESSED CURBS AT HANDICAPPED RAMPS/CROSSWALKS SHALL BE FLUSH WITH THE PAVEMENT SURFACE. DEPRESSED CURBS AT DRIVEWAYS SHALL HAVE A 1 1/2" CURB FACE.
- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ONLY PAY ITEMS LISTED IN THE PROPOSAL ARE APPLICABLE TO THIS PROJECT. PAY ITEMS NOT IN THE PROPOSAL WILL NOT BE USED.

HOPEWELL TOWNSHIP - ZONING TABLE OF BULK REQUIREMENTS				
REDEVELOPMENT AREA "AMMENDED PHASE II"				
Proposed Block 65, 65.01, 65.02, 65.03, & 65.04				
Zoning Regulation	REDEVELOPMENT	PROVIDED	STATUS	CODE
Permitted Principal Uses	Community services dedicated to the overall community and services that are specially dedicated to serve the senior community of Hopewell Valley, and health, wellness and recreation facilities that serve the overall community.	YMCA Facility that will service senior and overall community with health, wellness, education and recreation.	C	Section 3.1
Permitted Accessory Uses	Traffic, gardens, playgrounds, recreation facilities, camp facilities, and gathering areas related to the fitness and community centers. Outdoor uses may include pools, water-oriented recreational facilities, patios, gardens, storage sheds, tool sheds and docks for non-motorized boats, paddleboards, and rafts.	Traffic, gardens, playgrounds, recreation facilities, camp facilities, gathering areas related to the fitness and community centers, pools, water-oriented recreational facilities, patios, storage sheds, tool sheds, launch pavilions and restrooms.	C	Section 3.1
Min Lot Size (Overall Tract) (ac)	15	15.68	C	Section 3.2
Min Lot Width (Overall Tract) (ft)	500	500.98	C	Section 3.2
Min Lot Depth (Overall Tract) (ft)	200	1067.58	C	Section 3.2
Min Front Yard Setback (overall tract from Public St) (ft)	50	70	C	Section 3.2
Min Principal Structure Side Yard Setback Properties fronting Road Road (ft)	10	105.92	C	Section 3.2
Min Principal Structure Side Yard Setback within Redevelopment Area (ft)	10	95	C	Section 3.2
Min Auxiliary Structure Side Yard Setback fronting Road Road (ft)	50	50	C	Section 3.2
Min Auxiliary Structure Side Yard Setback within Redevelopment Area (ft)	25	NA	NA	Section 3.2
Min Principal Structure Rear Yard Setback (stories)	150	712.5	C	Section 3.2
Min Auxiliary Structure Rear Yard Setback (stories)	50	115.33	C	Section 3.2
Max Bldg Height Principal Structure (ft)	3 stories, 45 ft	2 stories and 30'	C	Section 3.2
Max Bldg Height Auxiliary Structure (ft)	1 story, 30 ft	Will Comply	C	Section 3.2
Max Impervious Coverage (%)	70%	43.74%	C	Section 3.2
Parking Setbacks				
From Public Street (ft)	5		S	C
From Overall Tract Boundary (ft)	15		S	C
From Residential Lots Zoned R-100	20		C	
Enhanced Parking Buffers (from Parking to Residential Lots Zoned R-100)	Side yards shall contain 6 ft solid fence, staggered double row of evergreen plantings, 10 ft x 6 ft, and a min. 10 ft x 6 ft, and shall comply with 10 ft planting distance and 17 ft	Will Comply	C	Section 3.2
Signage				
Freestanding sign	less than four ft for each additional occupant but not more than 10 ft	Will Comply - TBD	C	17-100, 2005
Address/ Site Distance				COMMENTS
Building Coverage (overall tract)	7.46%			
Building Coverage (Square Footage) (ft)	74,000			
Site Parking	27			
Parking				
No. of Standard Spaces	272			
No. of Compact Spaces	0			
No. of ADA Spaces	7			
Total	279			



06-14-2024
LICENSED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE No. 24GED04670200

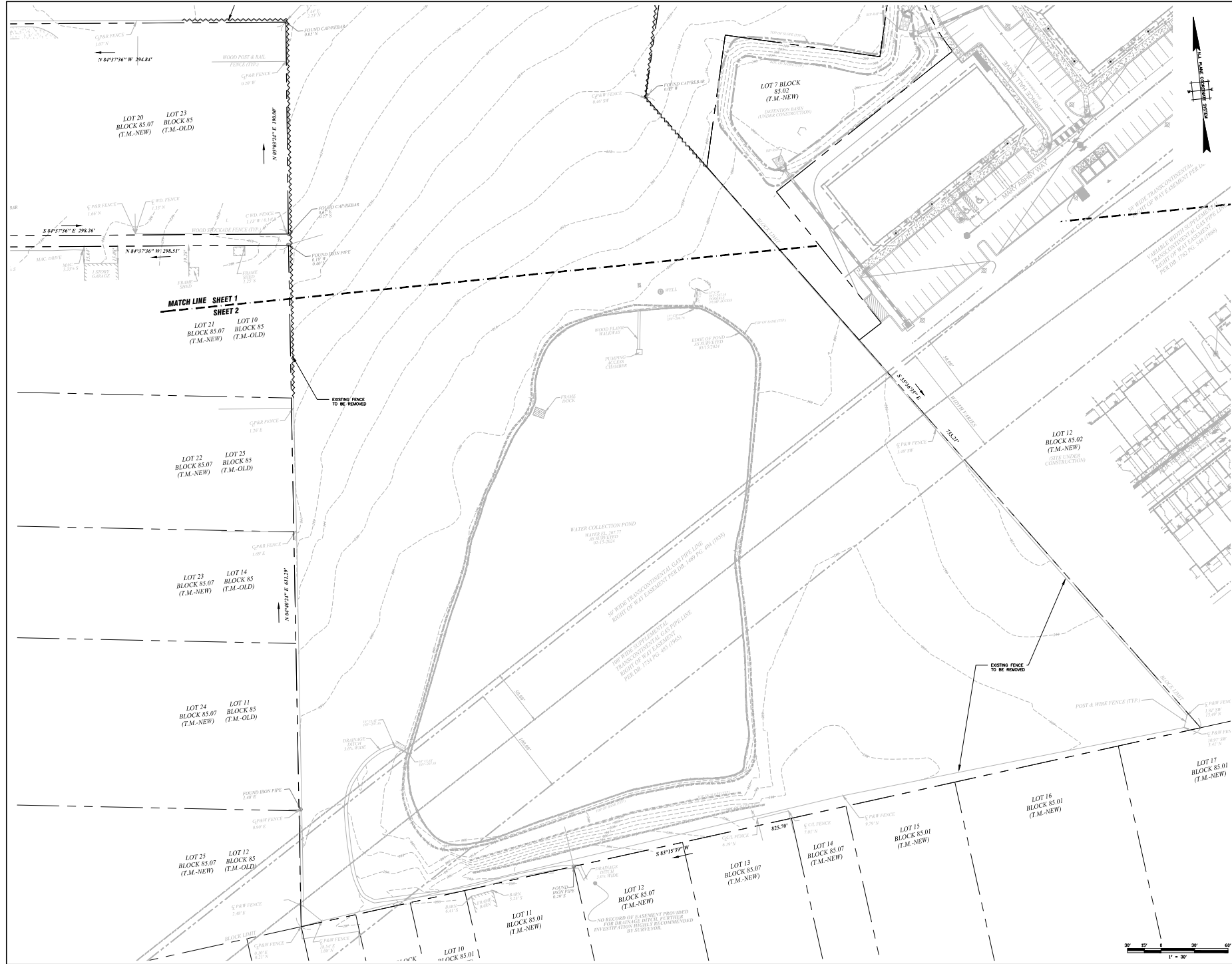
EXISTING CONDITION PLAN - OVERALL



DESIGNED BY	GUD	DRAWING	
CHECKED BY	REDI	ECP-0	
DRAWN BY	GUD	SHEET	
DATE	06-14-04	2	
SCALE	AS SHOWN		
PROJ. NO.	8871-201-100	OF	6

PROJECT INFORMATION: ALL RIGHTS RESERVED. THE CONTENT ON THIS SHEET IS THE PROPERTY OF SPEZLE ARCHITECTURAL GROUP, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SPEZLE ARCHITECTURAL GROUP, INC. DATE: 06/17/2024, 3:46 PM, 21944

COMMENTS: 1. ALL RIGHTS RESERVED. THE CONTENT ON THIS SHEET IS THE PROPERTY OF SPEZLE ARCHITECTURAL GROUP, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SPEZLE ARCHITECTURAL GROUP, INC. DATE: 06/17/2024, 3:46 PM, 21944



NO.	DATE	REVISION	BY	APP'D

06-14-2024
ROBERT E. HUNTER III, P.E., C.M.E.
VICE PRESIDENT, OPERATIONS MANAGER

06-14-2024
LICENSED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS, REG. NO. 24684-0000

SPEZLE ARCHITECTURAL GROUP, INC.
HOPEWELL VALLEY SENIOR + COMMUNITY CENTER
HOPEWELL TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY

EXISTING CONDITIONS & DEVOLUTION PLAN 2

YOUR GOALS, OUR MISSION.
OUR DEDICATION, YOURS IS OURS.
NEW JERSEY BOARD OF PROFESSIONAL ENGINEERING AND LAND SURVEYING
MASSACHUSETTS REG. NO. 24684-0000
NEW JERSEY REG. NO. 24684-0000
CPE AND PENDELUM

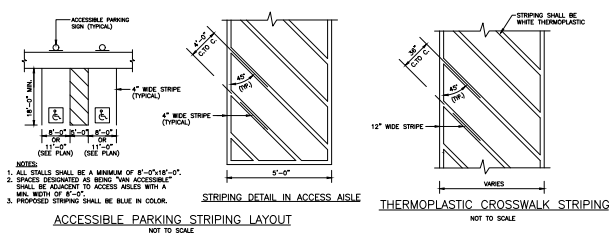
DESIGNED BY	DATE	DRAWING

CHECKED BY	DATE	SHEET

DATE	SCALE	PROJ. NO.
06/14/24	AS SHOWN	SPZL-00166

ECP-2
4
9

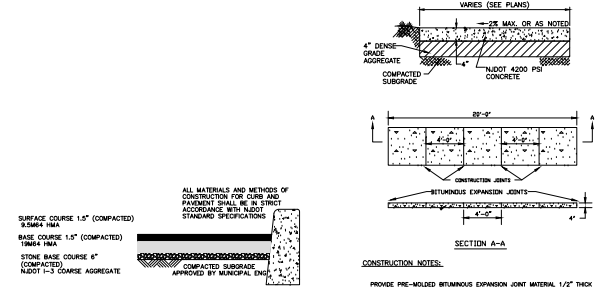
PROJECT INFORMATION: ALL RIGHTS RESERVED. THE CONTENT ON THESE SHEETS IS THE PROPERTY OF THE TOWN OF HOPEWELL, MASSACHUSETTS. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE TOWN OF HOPEWELL, MASSACHUSETTS.



ACCESSIBLE PARKING STRIPING LAYOUT
NOT TO SCALE

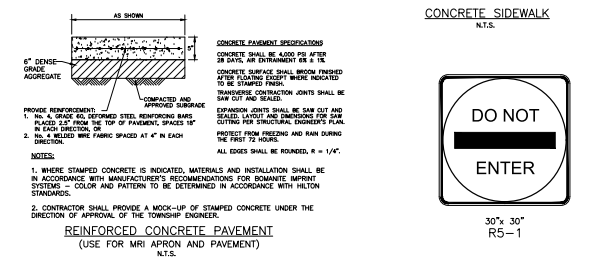
STRIPING DETAIL IN ACCESS AISLE
NOT TO SCALE

THERMOPLASTIC CROSSWALK STRIPING
NOT TO SCALE

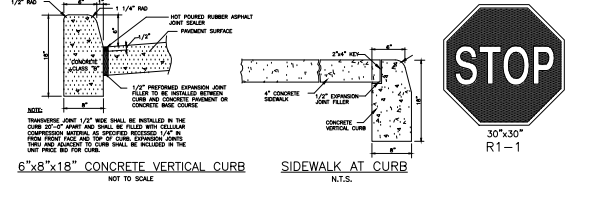


STANDARD PAVEMENT SECTION
N.T.S.

CONCRETE SIDEWALK
N.T.S.

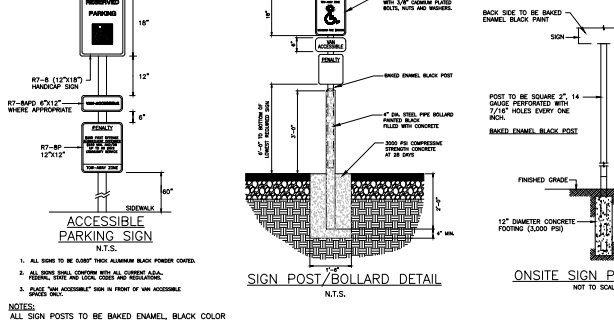


REINFORCED CONCRETE PAVEMENT
(USE FOR MARI APRON AND PAVEMENT)
N.T.S.



6'x8'x18" CONCRETE VERTICAL CURB
NOT TO SCALE

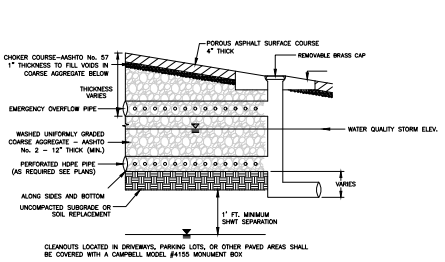
SIDEWALK AT CURB
N.T.S.



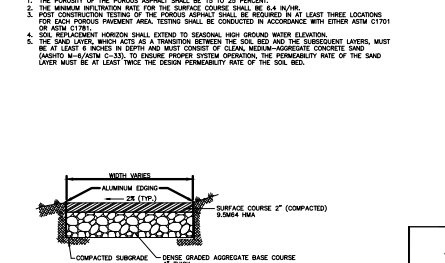
ACCESSIBLE PARKING SIGN
N.T.S.

SIGN POST/BOLLARD DETAIL
N.T.S.

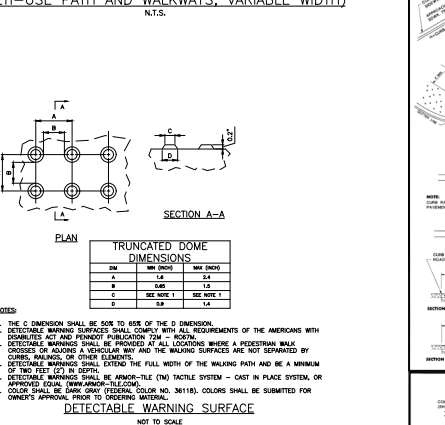
ONSITE SIGN POST DETAIL
NOT TO SCALE



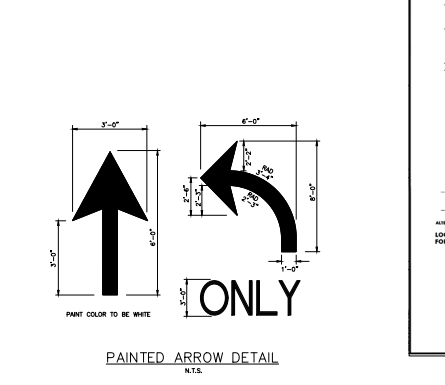
POROUS PAVEMENT
N.T.S.



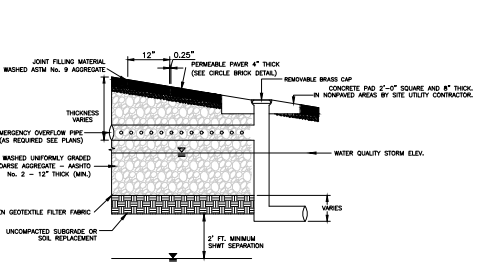
HOT MIX ASPHALT PAVEMENT
(MULTI-USE PATH AND WALKWAYS, VARIABLE WIDTH)
N.T.S.



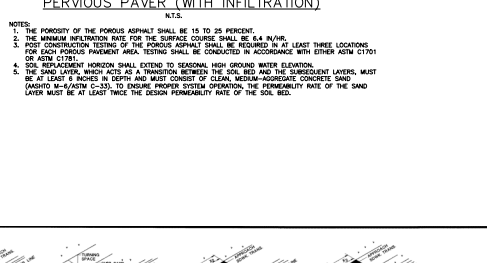
DETECTABLE WARNING SURFACE
NOT TO SCALE



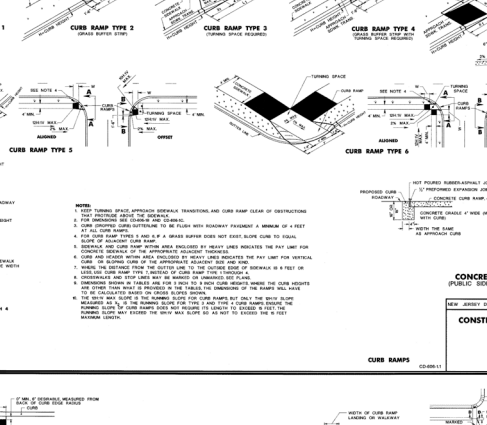
PAINTED ARROW DETAIL
N.T.S.



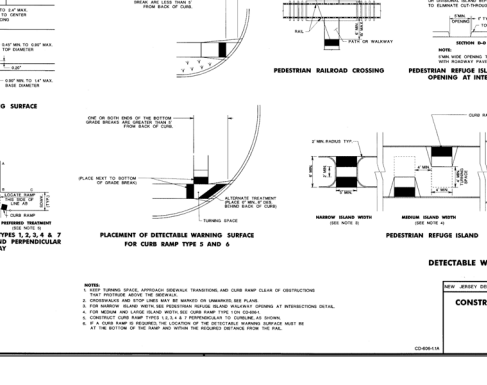
PERVIOUS PAVER (WITH INFILTRATION)
N.T.S.



CONCRETE SIDEWALK
PUBLIC SIDEWALK (CURB RAMP)
N.T.S.



CURB RAMPS
N.T.S.



PEDESTRIAN RAILROAD CROSSING
N.T.S.

PEDESTRIAN REFUGE ISLAND
N.T.S.

DETECTABLE WARNING SURFACE
N.T.S.

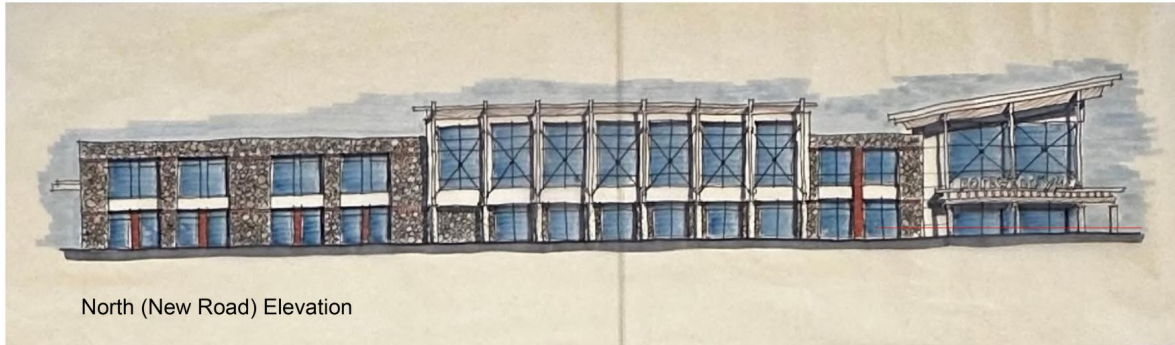
05-14-2024
LICENSED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS
ROBERT E. HUNTER III, P.E., C.M.E.
VICE PRESIDENT, OPERATIONS MANAGER

HOPEWELL VALLEY SENIOR + COMMUNITY CENTER
HOPEWELL, MASSACHUSETTS
SPEZIEL ARCHITECTURAL GROUP, INC.
CONSTRUCTION DETAILS 1

YOUR GOALS. OUR MISSION.
NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS
MASSACHUSETTS REG. NO. 1000000000
CIVIL ENGINEER
CPE-1000000000

DESIGNED BY
CHECKED BY
DRAWN BY
DATE
SCALE
PROJECT NO.

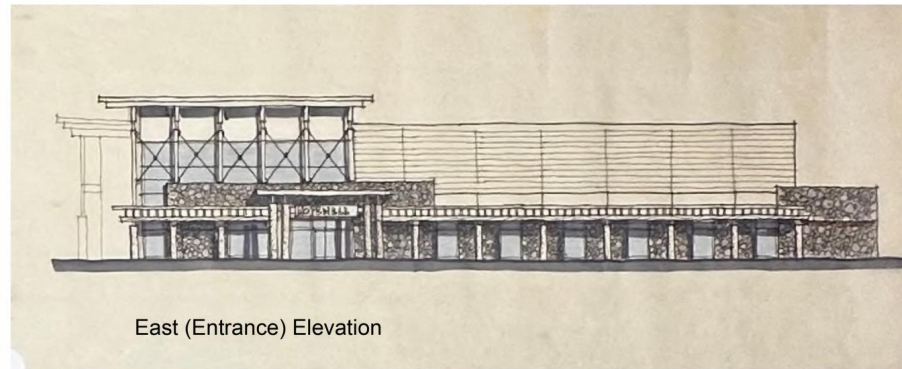
CONSTRUCTION DETAILS
SHEET
9
OF 9



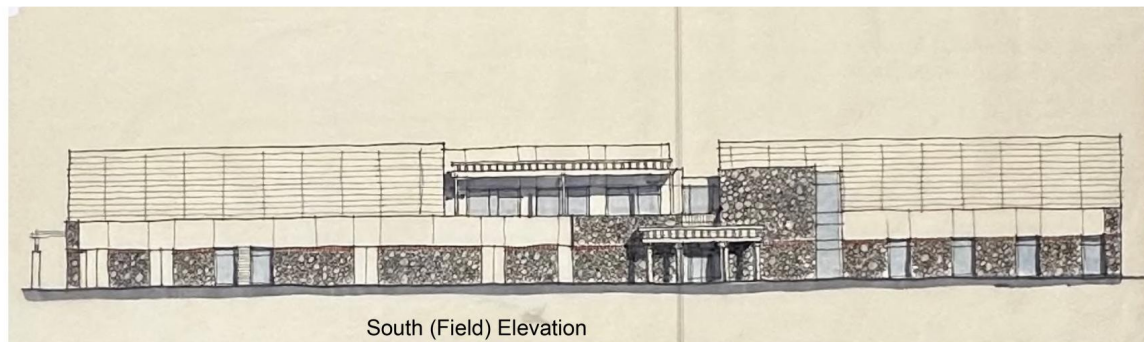
North (New Road) Elevation



East (Senior Entrance) Elevation



East (Entrance) Elevation



South (Field) Elevation



CODE REVIEW

CERTIFICATE



SPIEZIE ARCHITECTURAL GROUP INC.
1305 YARDVILLE HAMILTON SQUARE ROAD
HAMILTON, NJ 08611
PHONE: 609-695-7400

SIGNATURE
OWNER: [Signature]
DESIGNER: [Signature]
DATE: [Date]
PROJECT: [Project Name]
DRAWING: [Drawing Name]

SEAL

CONSULTANTS

PLANNING BOARD
SUBMISSION 06/17/2024

PROJECT:
HOPEWELL VALLEY
SENIOR COMMUNITY
CENTER
FOR
HOPEWELL TOWNSHIP
MERCER COUNTY, NJ

FOR CODE REVIEW:

REVISIONS:
REVISION NAME DATE

FOR BID:

DRAWING TITLE:
EXTERIOR ELEVATIONS

COMMISSION NUMBER:
24M001

DO NOT SCALE THE DRAWINGS
DRAWING NUMBER:
A5

