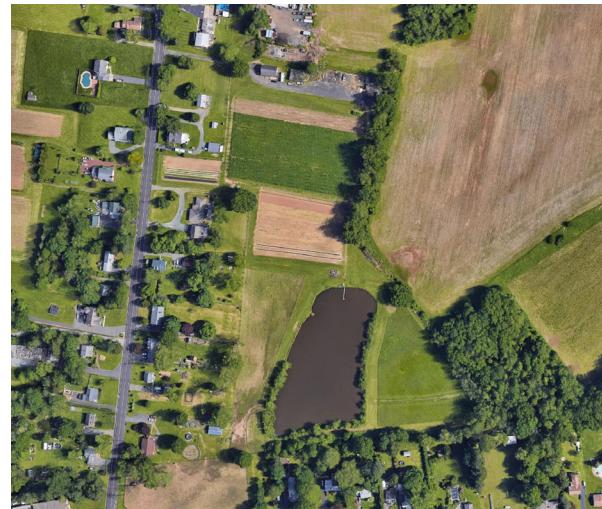


# HOPEWELL VALLEY SENIOR COMMUNITY CENTER

FOR THE  
**HOPEWELL TOWNSHIP MERCER COUNTY, NJ**



**T&M ASSOCIATES**  
SITE / CIVIL ENGINEER

SPIEZLE ARCHITECTURAL GROUP, INC.  
1395 YARDVILLE HAMILTON SQUARE ROAD  
SUITE 2A  
HAMILTON, NJ 08691  
Phone: 609.695.7400 Fax: 609.394.2274  
[www.spiezle.com](http://www.spiezle.com)

CODE SUBMISSION:  
BID DATE:

**PLANNING BOARD SUBMISSION 06/17/2024**

HOPEWELL VALLEY SENIOR  
COMMUNITY CENTER

24M001

DRAWING NUMBER

CS.1

## LIST OF DRAWINGS

DWG. NO.	TITLE	CURRENT REVISION
GENERAL	COVER	
DS.2	NOTES, ABBREVIATIONS AND LIST OF DRAWINGS	
SW.1	COVER SHEET	
ECP.1	EXISTING CONDITIONS & DEMOLITION PLAN 1	
ECP.2	EXISTING CONDITIONS & DEMOLITION PLAN 2	
ESD.1	EXISTING CONDITIONS & DEMOLITION PLAN	
ESL.1	SITE LAYOUT PLAN	
ESP.3	SITE PLAN	
EP.1	DEMOLITION PLAN	
CD.1	CONSTRUCTION DETAILS 1	
LL.1	LANDSCAPE & SITE IMPROVEMENTS PLAN	
ARCHITECTURAL		
	FIRST FLOOR PLAN	
A2	SECOND FLOOR PLAN	
EE	EXTERIOR ELEVATIONS	
EE	EXTERIOR ELEVATIONS	

## ABBREVIATIONS

CD	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
CMF	COLD-FORMED METAL FRAMING
DN	DRILLED NAIL
DW	DRAWING
EPS	EXTRuded POLystyrene INSULATION AND FInISH SYSTEM
EL	ELEVATION
EX	EXPANSION JOINT
EJ	EXPANSION JOINT
EMC	EXHAUSTED MOISTURE COOLER
FD	FLOOR DRAIN
FE	FEAR EXTINGUISHER (BRACKET MOUNTED)
FE	FEAR EXTINGUISHER CABINET
FPT	FEAR PIPING TUBE
FRTW	FEAR RETARDANT TREATED WOOD
GALV	GALVANIZED
GSF	GROSS SQUARE FEET
GWB	GYPSUM WALL BOARD
HP	HOLLOW CORE PELLET
HP	HIGH POINT
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
MO	MASONRY OPENING
NA	NOT APPLICABLE
NC	NOT IN CONTRACT
NSF	NET SQUARE FEET
OC	ON CENTER
OD	OUTSIDE DIAMETER
OD	PART OF PIPE OR OUTSIDE DIAMETER
PTD	POINT TREATED
PTW	PRESSURE TREATED WOOD
PVC	POLYVINYL CHLORIDE
RD	ROOF DRAIN
REINF	REINFORCED OR REINFORCING
RWC	RAIN WATER CONDUCtor
SP	SPOT
TOS	TOP OF STEEL
TFP	THICKNESS
TF	THICK
VF	VF (VFPI) IN FIELD

## MATERIAL SYMBOLS

	BATT / MINERAL WOOL INSULATION
	BRICK
	CONCRETE
	CONCRETE MASONRY UNIT (CMU)
	EARTH
	FIRE SAFING
	GYPSUM WALL AND/OR CEILING BOARD
	MORTAR NET
	MORTAR / GROUT
	PLYWOOD
	POROUS FILL OR SUB-SUB AGGREGATE
	RIGID INSULATION
	SPRAY FOAM INSULATION
	STEEL
	STONE
	CONTINUOUS WOOD BLOCKING
	WOOD SHIM OR BLOCKING

## DRAWING SYMBOLS

	DETAIL IDENTIFICATION
	BALANCE SECTION IDENTIFICATION
	WALL SECTION IDENTIFICATION
	ELEVATION MARKS
	ROOM TAG
	COLUMN NUMBER
	REVISION NUMBER
	DOOR NUMBER
	WINDOW TYPE
	PARTITION TYPE
	NAME ELEVATION
	NAME CENTERLINE
	TOILET ACCESSORY TAG
	VIEW REFERENCE

**spieze**

SPIEZE ARCHITECTURAL GROUP, INC.  
190 YARDVILLE ROAD, SUITE 2A  
HANOVER, NEW JERSEY 08823  
PHONE: 609-693-1400

PLANNING BOARD  
SUBMISSION 06/17/2024

PROJECT:	HOPEWELL VALLEY SENIOR COMMUNITY CENTER		
FOR CODE REVIEW:			
REVISIOn:	<input checked="" type="checkbox"/>	REVISION NAME	DATE

FOR BID:			
DRAWING TITLE:	NOTES, ABBREVIATIONS AND LIST OF DRAWINGS		
COMMISSION NUMBER:	24M001		

NOTES, ABBREVIATIONS AND LIST OF DRAWINGS	
DRAWING NUMBER:	CS.2
DO NOT SCALE THE DRAWINGS	

PRELIMINARY SITE PLANS FOR  
**HOPEWELL VALLEY SENIOR + COMMUNITY CENTER**

APPLICANT:

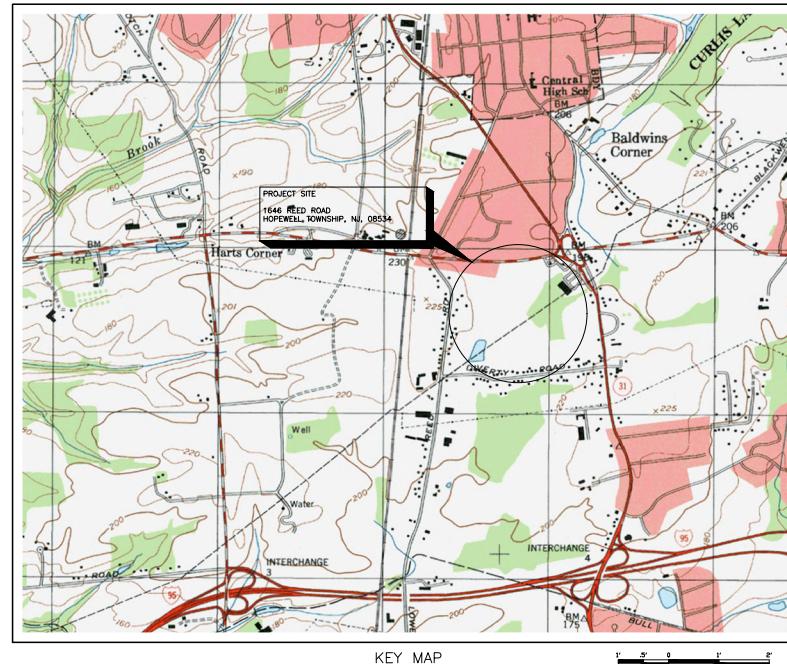
HOPEWELL TOWNSHIP  
201 WASHINGTON CROSSING PENNINGTON ROAD  
TRUSSVILLE, NJ 08534  
HOPEWELL VALLEY YMCA  
62 SOUTH MAIN STREET  
HOPEWELL, NJ 08520  
C/O DOUGLAS PSZCZOLKOWSKI, CEO  
609-737-3048  
US HOME AT HOPEWELL URBAN RENEWAL, LLC  
201 KELLY ROAD, 3RD FLOOR  
HAMILTON, NJ 08560  
C/O MITCHELL NEWMAN  
609-315-2011

OWNERS:

HOPEWELL VALLEY YMCA  
62 SOUTH MAIN STREET  
HOPEWELL, NJ 08520  
C/O DOUGLAS PSZCZOLKOWSKI, CEO  
609-737-3048  
US HOME AT HOPEWELL URBAN RENEWAL, LLC  
201 KELLY ROAD, 3RD FLOOR  
HAMILTON, NJ 08560  
C/O MITCHELL NEWMAN  
609-315-2011

1646 REED ROAD  
HOPEWELL TOWNSHIP, NJ 08534

UTILITY OWNERS	
TRENTON WATER COMPANY PO BOX 528 TRENTON, NJ 08604	HOPEWELL VALLEY YMCA 62 SOUTH MAIN STREET HOPEWELL, NJ 08520 C/O DOUGLAS PSZCZOLKOWSKI, CEO 609-737-3048
VERIZON 100 PARK AVENUE, NO. 2 MONTCLAIR, NJ 07042	US HOME AT HOPEWELL URBAN RENEWAL, LLC 201 KELLY ROAD, 3RD FLOOR HAMILTON, NJ 08560 C/O MITCHELL NEWMAN 609-315-2011
JERSEY CENTRAL POWER & LIGHT C/O GU SET TAX PO BOX 1911 MORRISTOWN, NJ 07862-1911	
AT&T 1 AT&T WAY BEDMINSTER, NJ 07921	
COMCAST CABLE 1000 PENNSYLVANIA STREET TRENTON, NJ 08618	
TRANSCONTINENTAL GAS PIPE LINE 2800 POST OAK BLVD. HOUSTON, TX 77251-1398	
ELSA 600 WHITE ROAD LAURENCEVILLE, NJ 08848	
MANAGER-CORPORATE PROPERTIES 100 PARK AVENUE, 38TH FLOOR NEWARK, NJ 07102	
ELIZABETHTOWN GAS COMPANY PO BOX 3175 UNION, NJ 07083-1795	
NJ AMERICAN WATER CO., INC. 1025 LAUREL OAK RD VOORHEES, NJ 08043	
SUN PIPE LINE/RIGHT OF WAY MONELLO COMPLEX 525 FRITZTOWN RD SINKING SPRINGS, PA 16028	
LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE FOR INFORMATION ONLY. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE EXACT LOCATION AND DEPTH OF UTILITIES AND TO CONSULT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND OTHER APPLICABLE LAWS.	
	

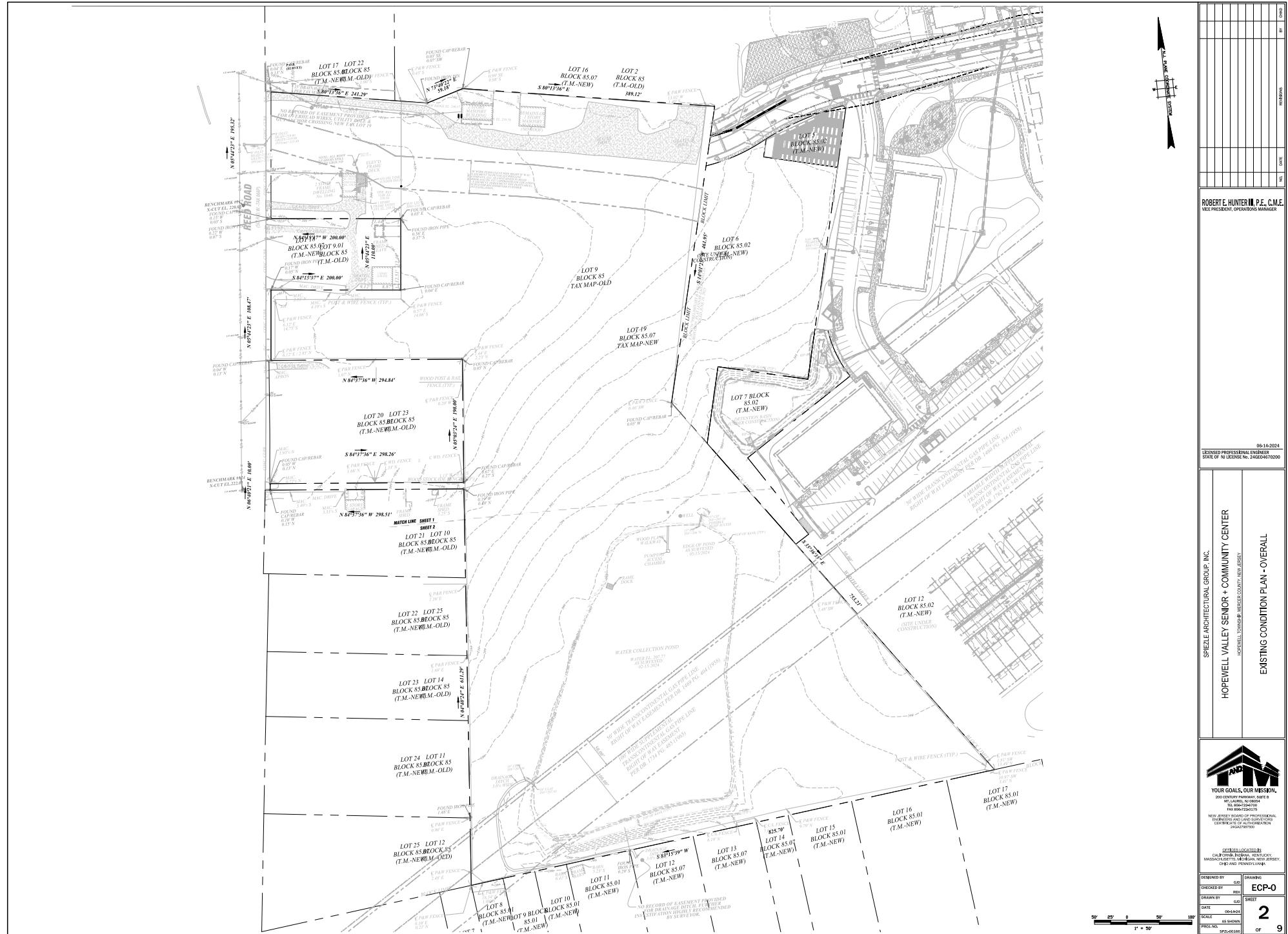


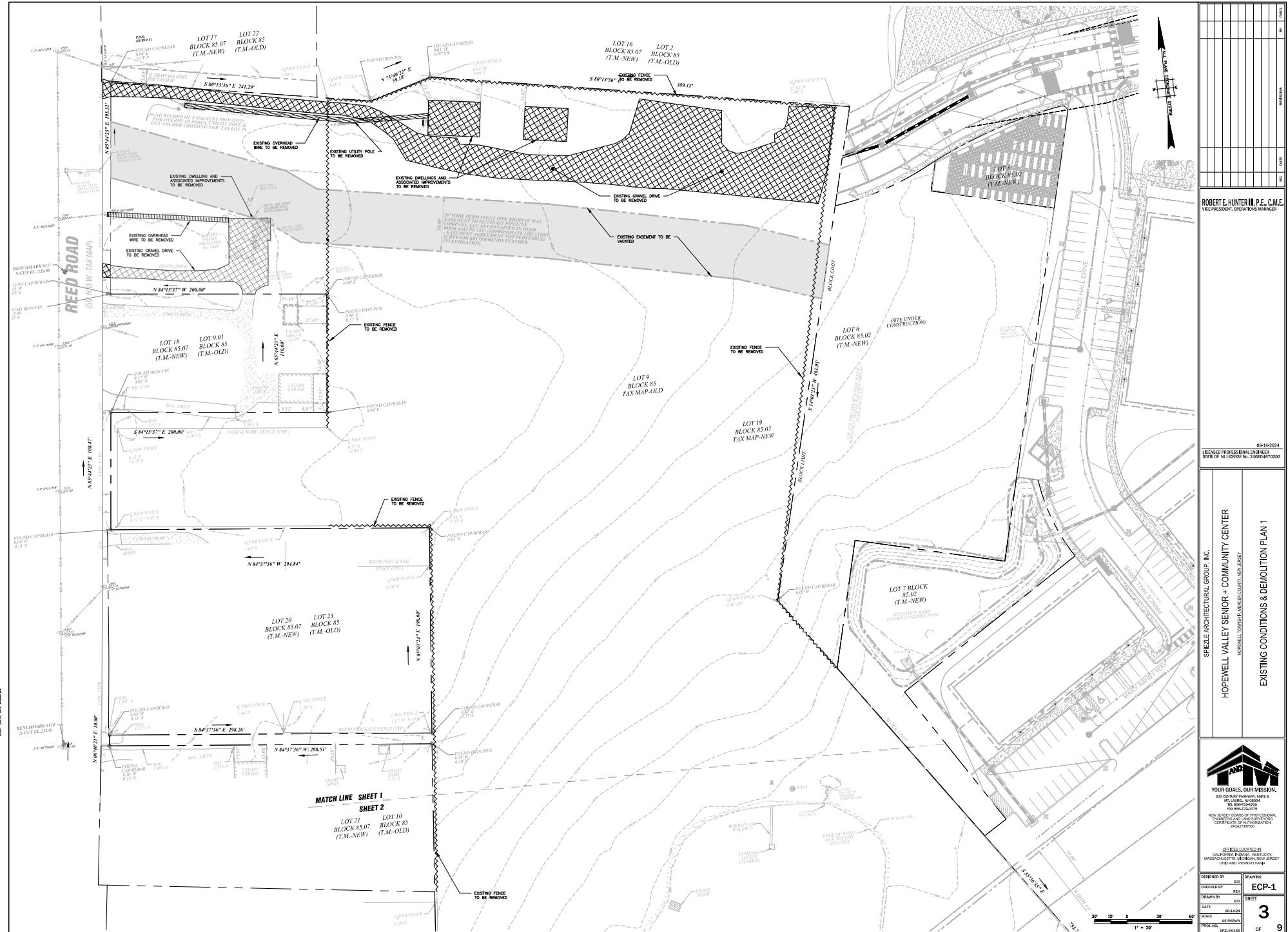
Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING CONDITION PLAN - OVERALL
3	EXISTING CONDITIONS & DEMOLITION PLAN 1
4	EXISTING CONDITIONS & DEMOLITION PLAN 2
5	OVERALL SITE LAYOUT PLAN
6	SITE LAYOUT PLAN 1
7	SITE LAYOUT PLAN 2
8	LIGHTING PLAN
9	CONSTRUCTION DETAILS 1

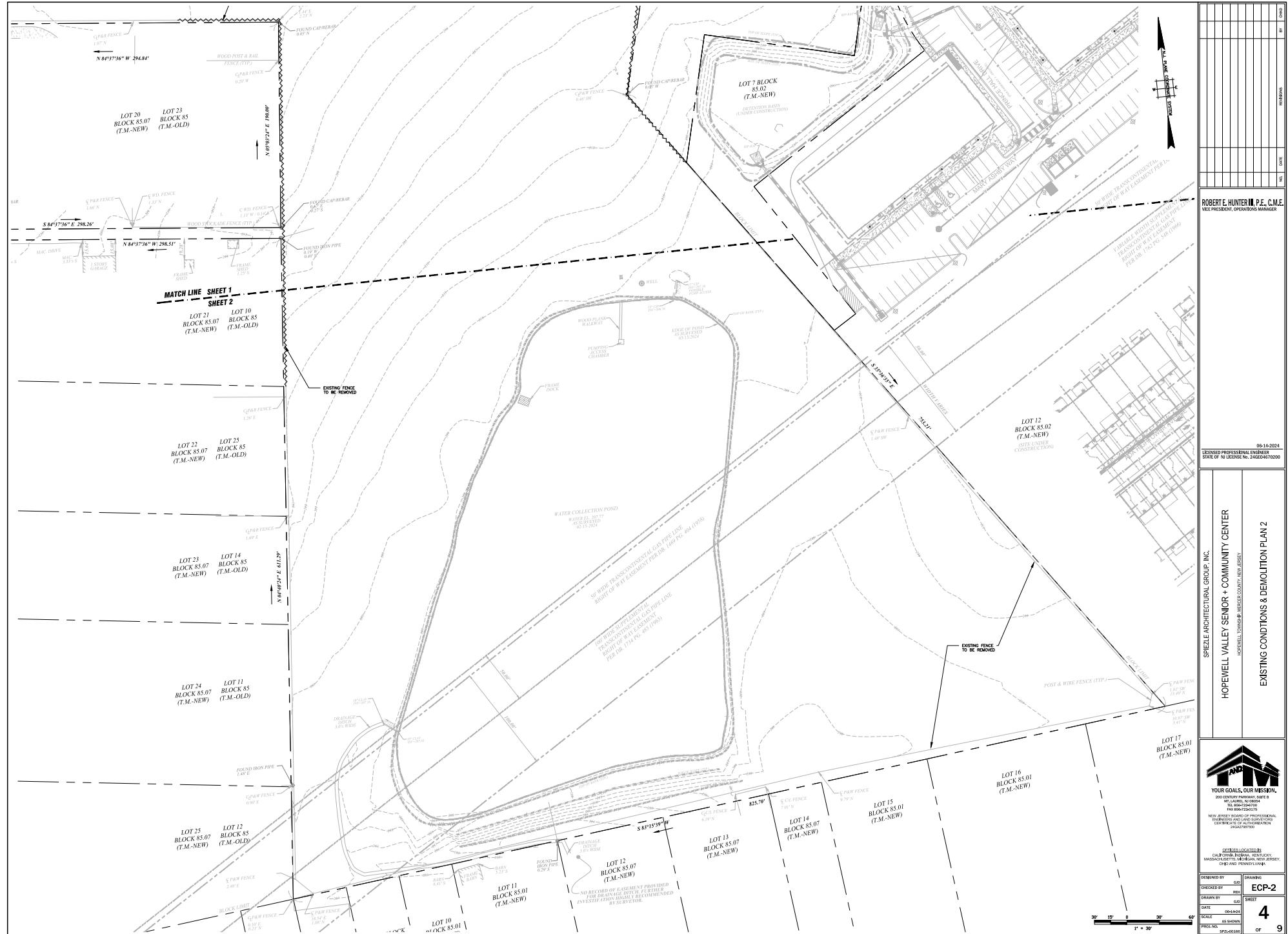
GENERAL NOTES

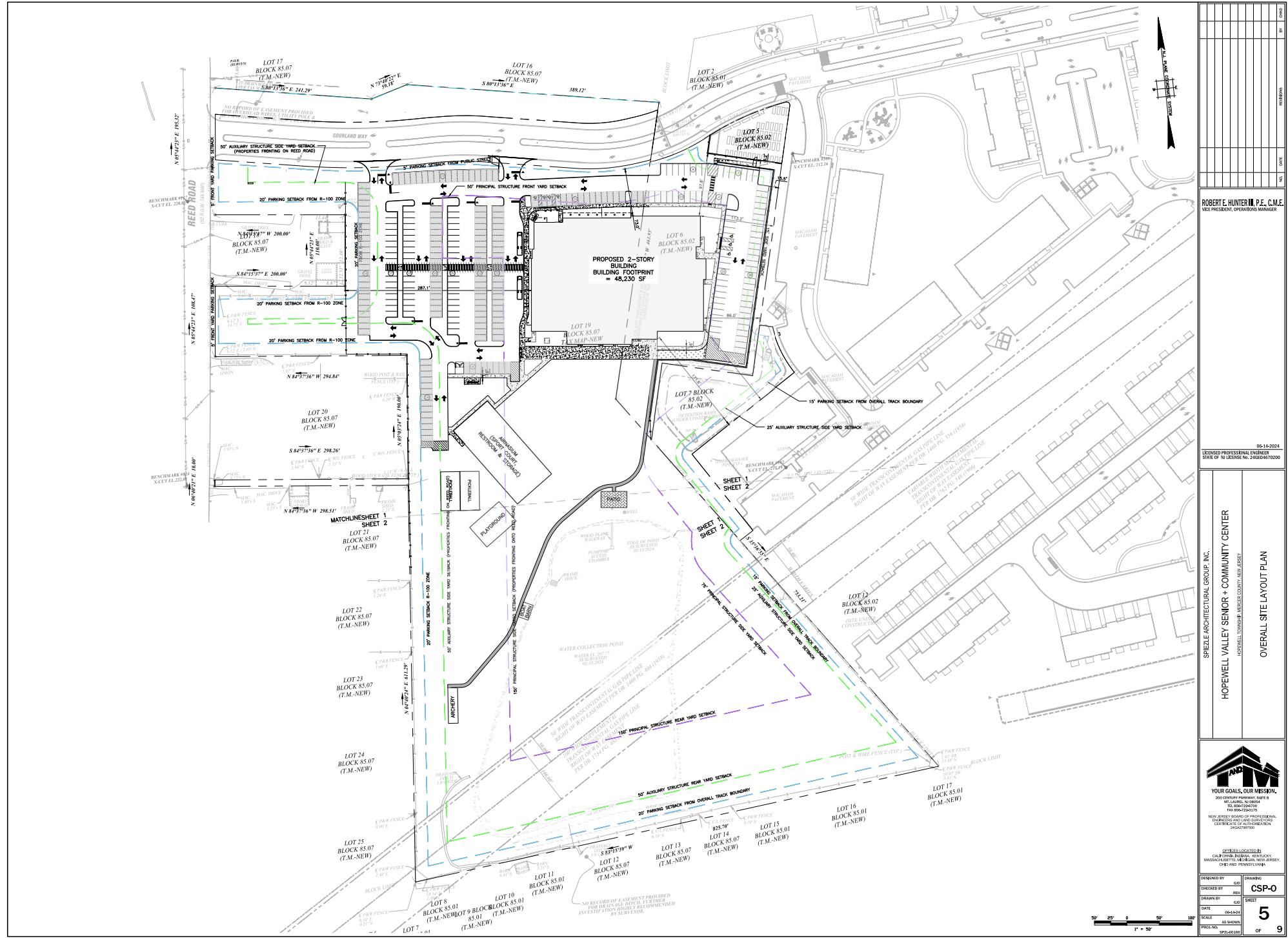
1. HORIZONTAL DATUM IS IN THE NEW JERSEY PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983.
2. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM, 1988.  
NOVD 1929 = NAVD 1988 + 1.08'
3. ALL DIMENSIONS, UNITS, ETC. ARE IN THE U.S. CUSTOMARY SYSTEM.
4. THE CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINT MARKS FROM DAMAGE AND SHALL ESTABLISH OFFSET POINTS AS REQUIRED FOR ITS WORK.
5. LOCATIONS OF EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO EXCAVATION.
6. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO GROUND DISTURBANCE.
7. DEPRESSED CURBS AT HANDICAPPED RAMPS/CROSSWALKS SHALL BE FLUSH WITH THE PAVEMENT SURFACE. DEPRESSED CURBS AT DRIVEWAYS SHALL HAVE A 1 1/2" CURB FACE.
8. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
9. ONLY PAY ITEMS LISTED IN THE PROPOSAL ARE APPLICABLE TO THIS PROJECT. PAY ITEMS NOT IN THE PROPOSAL WILL NOT BE USED.

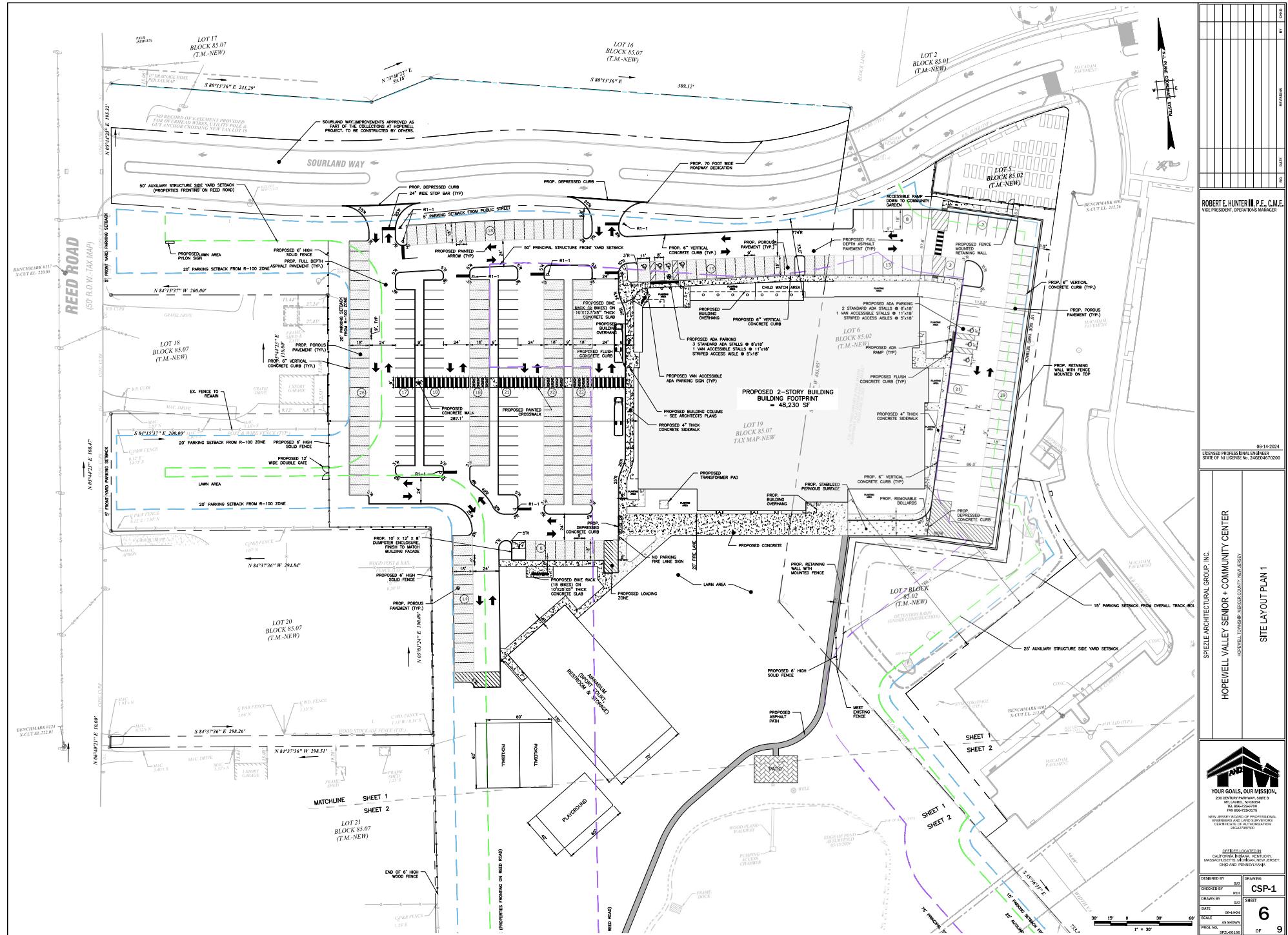
HOPEWELL TOWNSHIP - ZONING TABLE OF BULK REQUIREMENTS REDEVELOPMENT AREA - AMENDED PHASE II			
Zoning Regulation:	PROPOSED/PERMITTED	PROVIDED	STATUS
Permitted Principal Uses	Community services dedicated to the overall community and specifically designed to serve the senior community of Hopewell Valley. These include, but are not limited to, the following:	YMCA Facility that will service senior and overall community with health, wellness, education, and recreation.	C Section 3.1
Permitted Accessory Uses	Trails, gardens, playgrounds, recreation facilities, camp facilities, and gathering areas related to the principal use. These include, but are not limited to, the following:	Trails, gardens, playgrounds, recreation facilities, camp facilities, gathering areas related to the principal use. These include, but are not limited to, the following:	C Section 3.1
Min. Lot Size (Overall Tract) (ac)	100	C	Section 3.2
Min. Lot Width (Overall Tract) (ft)	500	C	Section 3.2
Min. Lot Depth (Overall Tract) (ft)	200	100, 50	Section 3.2
Min. Lot Depth (Overall Tract) from Public St. (ft)	50	76	Section 3.2
Min. Principal Structure Side Yard Setback Properties (ft)	100	100, 92	Section 3.2
Min. Non-Res Structure Side Yard Setback within Redevelopment Area (ft)	75	66	Section 3.3
Min. Non-Res Structure Side Yard Setback (ft)	50	50	Section 3.3
Min. Auxiliary Structure Side Yard Setback (ft)	25	NA	Section 3.3
Min. Principal Structure Rear Yard Surface (ft)	150	712.5	Section 3.3
Min. Auxiliary Structure Rear Yard Surface (ft)	50	115.33	Section 3.3
Max. Bldg Height Principal Structure (ft)	3 stories, 45 ft	2 Stories and 3.5 stories, 45 ft	Section 3.3
Max. Bldg Height Auxiliary Structure (ft)	1 story, 10 ft	1 story, 10 ft	Section 3.3
Max Impenetrable Coverage (%)	43.74%	43.74%	Section 3.3
Parking Setbacks			
From Public Street (ft)	5	5	Section 3.3
From Overall Tract Boundary (ft)	15	15	Section 3.3
From Residential Lot Line Zoned R-100 (ft)	20	20	Section 3.3
Enhanced Parking Buffers (from Parking in Residential Lots Zoned R-100)			Will Comply
Side yard, rear corner if 7' or solid fence, staggered double row of trees, minimum height 10' to 12' and at a min. of 17' 5", and shall comply with height Planning ordinance sect. 17-189			Will Comply
Signage			
Freestanding sign	less than four ft for each additional occupant but not more than 10 ft	less than four ft for each additional occupant but not more than 10 ft	Will Comply - TRD
Address on Site			COMMENTS
Building Coverage (Overall tract)	7.42%		
Building Gross Square Footage (ft²)	74,000		
Bike Parking	27		
Parking			
No. of Standard Spaces	272		
No. of Compact Spaces	0		
No. of ADA Spaces	7		
Total	279		

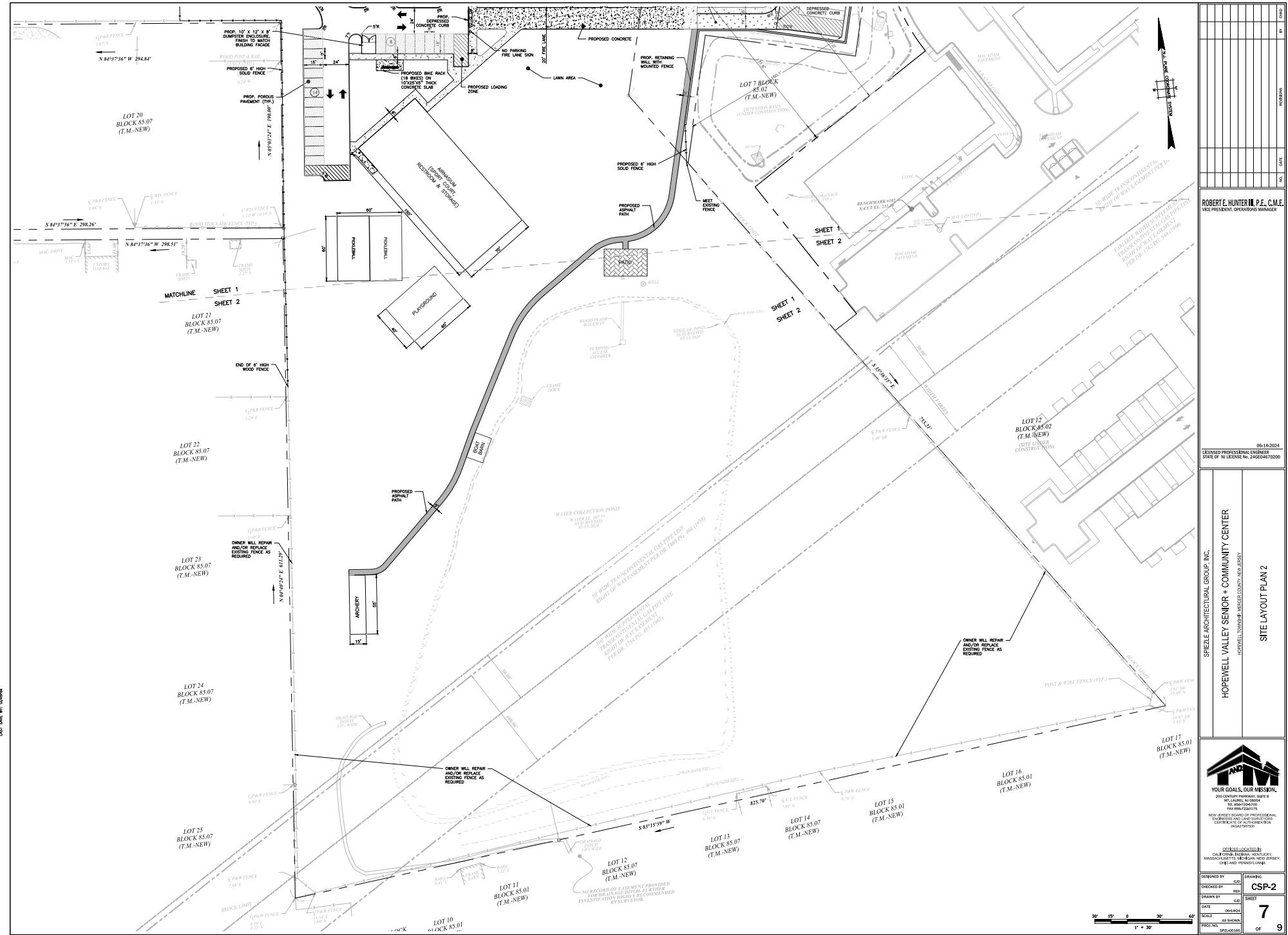


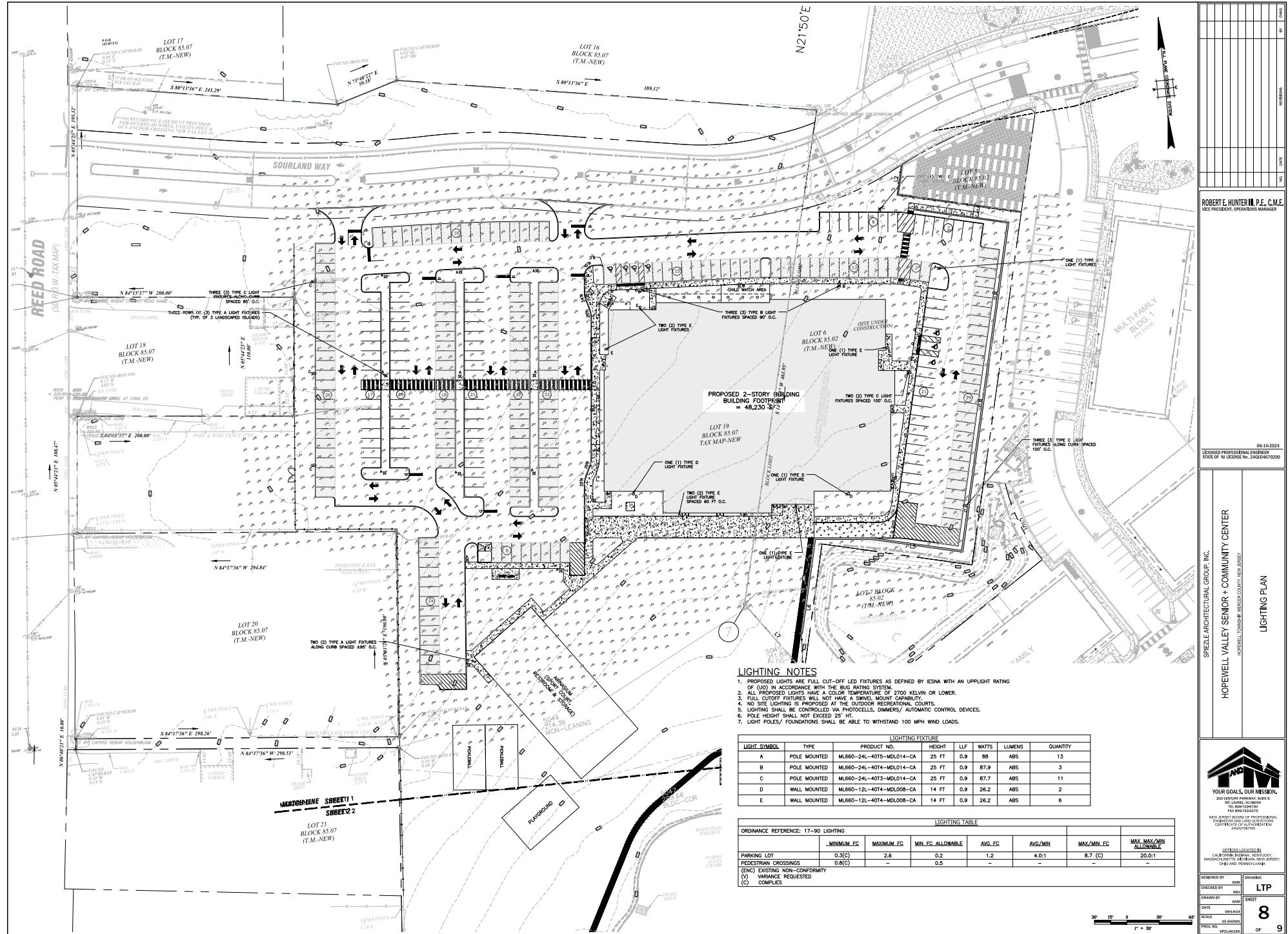


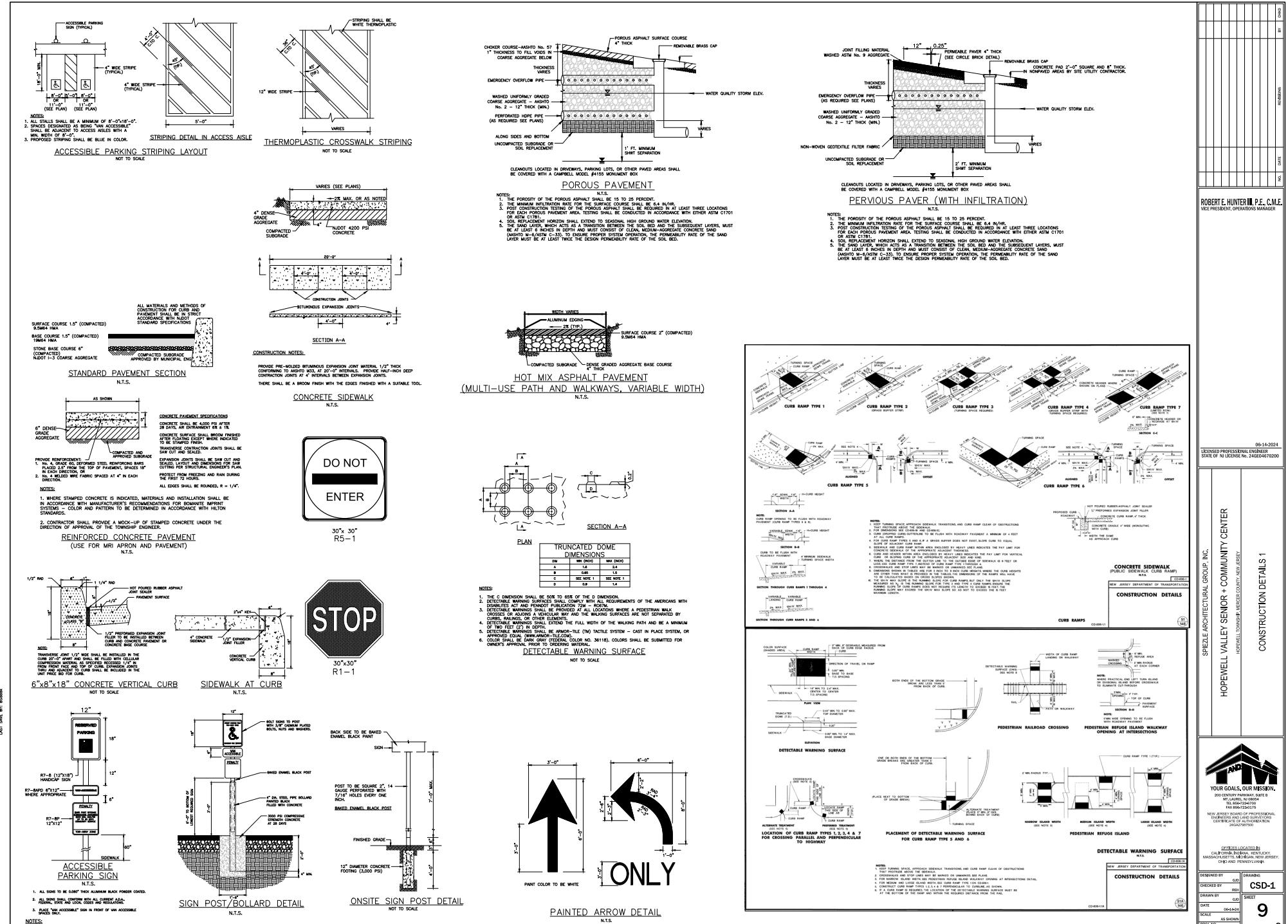




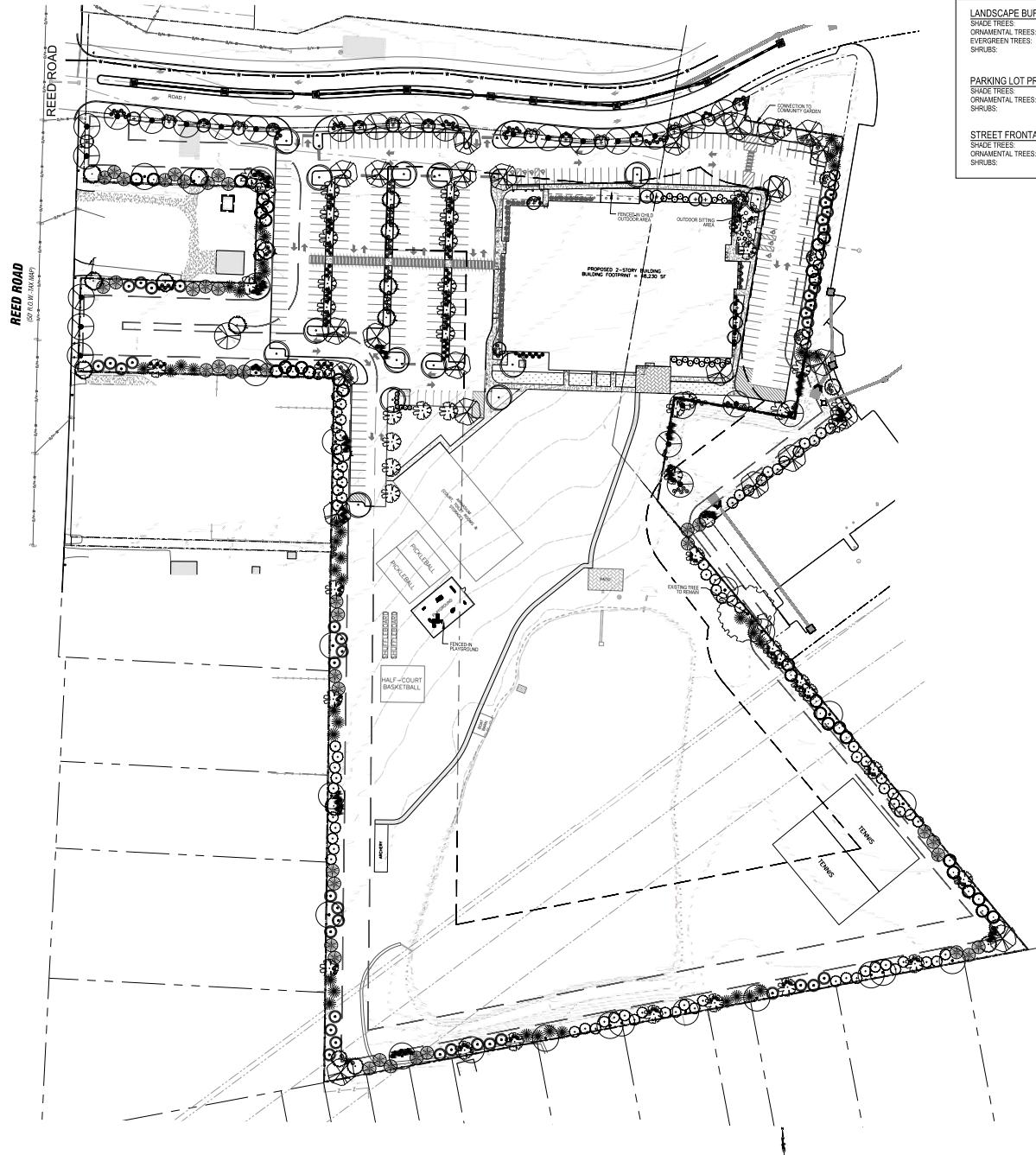








811  
THE CONSTRUCTION SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL UTILITIES PRIOR TO COMMENCING ANY WORK. THE CONSTRUCTION SHALL NOT DAMAGE ANY UTILITIES. IF THE CONSTRUCTION DAMAGE ANY UTILITIES, THE CONSTRUCTION SHALL NOT OPERATE UNTIL THE DAMAGE IS REPAIRED. THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 811 AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK. THIS LAW APPLIES TO ALL CONSTRUCTION ACTIVITIES, WHETHER UNDERGROUND OR ABOVE-GROUND, IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.



LANDSCAPE BUFFER PROPOSED PLANT COUNTS:		
SHADE TREES	25	
ORNAMENTAL TREES	41	
EVERGREEN TREES	239	
SHRUBS	198	
PARKING LOT PROPOSED PLANT COUNTS:		
SHADE TREES	24	
ORNAMENTAL TREES	21	
SHRUBS	100	
STREET FRONTPAGE PROPOSED PLANT COUNTS:		
SHADE TREES	16	
ORNAMENTAL TREES	15	
SHRUBS	95	



CODE REVIEW  
**spiezle**  
SINGLE ARCHITECTURAL GROUP, INC.  
1305 YARDVILLE HAILEYTON SQUARE, SUITE 2A  
HAMMONTON, NJ 08036  
(609) 669-0440  
CERTIFICATE

NOTES:  
1. STAKE AND GUY WIRE SHOULD BE USED IN CONSTRUCTION. GUYS SHOULD BE ATTACHED LOOSELY TO ALLOW TREE TO SWAY NATURALLY.  
2. MULCH SHOULD BE APPLIED PERTICARILY IN 1" THICKNESS AS A MAXIMUM. TOP DRESSING. NEVER MOUND MULCH AROUND THE BASE OF THE TREE AS THIS WILL RESULT IN PREMATURE DEATH OF THE TREE.  
3. EVERGREEN TREES SHOULD NOT BE PLANTED IN A LOCATION THAT REQUIRES STAKING.  
4. CUTTING AND FOLDING BURLAP IS NOT RECOMMENDED. USE STAKES.  
5. REMOVE BURLAP FROM TOP OF BALL AND CUT TWO FEET.  
6. 6" HIGH SAUCER RIM FORMED FROM SOIL.  
7. STAKES SHALL BE ATTACHED TO THE TREE WITH 12-GAUGE GALVANIZED WIRE COVERED WITH RUBBER HOSE. USE GUY WIRES WHERE WIRE IS LIKELY TO COME IN CONTACT WITH TREE TRUNK.  
8. FINISHED GRADE.  
9. BACKFILL MIXTURE.  
10. UNDISTURBED SUBGRADE.  
11. PEDESTAL.  
12. 12" MIN.  
13. 2x BALL SIDE (TYPE)

PLANNING BOARD SUBMISSION  
06/17/2024

PROJECT  
HOPEWELL VALLEY  
SENIOR COMMUNITY  
CENTER

FOR  
HOPEWELL TOWNSHIP  
MERCER COUNTY, NJ

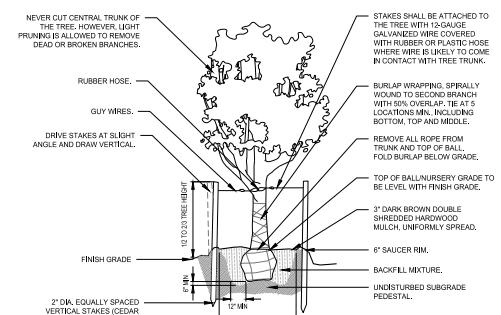
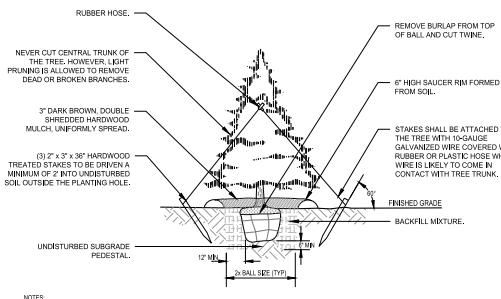
FOR CODE REVIEW  
REMON:  REMON NAME  DATE

FOR BD:  
DRAWING TITLE:  
LANDSCAPE & SITE  
IMPROVEMENTS PLAN

COMMISSION NUMBER:  
24M001

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:  
L1.1



NOTES:  
1. CROWN OF FOOTBALL SHOULD BEAR SAME RELATION (OR SLIGHTLY ABOVE) FINISHED GRADE AS IT BORE TO PREVIOUS GRADE.  
2. STAKE AND GUY WIRE SHOULD BE USED IN CONSTRUCTION. GUYS SHOULD BE ATTACHED LOOSELY TO ALLOW TREE TO SWAY NATURALLY.  
3. MULCH SHOULD BE APPLIED PERTICARILY IN 1" THICKNESS AS A MAXIMUM. TOP DRESSING. NEVER MOUND MULCH AROUND THE BASE OF THE TREE AS THIS WILL RESULT IN PREMATURE DEATH OF THE TREE.  
4. STAKE AND GUY WIRE SHOULD BE USED IN CONSTRUCTION. GUYS SHOULD BE ATTACHED LOOSELY TO ALLOW TREE TO SWAY NATURALLY.  
5. DRIVE STAKES AT SLIGHT ANGLE AND DRAW VERTICAL.  
6. GUY WIRES.  
7. TOP OF BALLOONERY GRADE TO BE LEVEL WITH FINISH GRADE.  
8. 3" DARK BROWN DOUBLE SHREDDED HARDWOOD MULCH, UNIFORMLY SPREAD.  
9. 6" SAUCER RIM.  
10. BACKFILL MIXTURE.  
11. UNDISTURBED SUBGRADE.  
12. PEDESTAL.  
13. 12" MIN.  
14. 2x BALL SIDE

NOTES:  
1. CROWN OF FOOTBALL SHOULD BEAR SAME RELATION (OR SLIGHTLY ABOVE) FINISHED GRADE AS IT BORE TO PREVIOUS GRADE.  
2. STAKE AND GUY WIRE SHOULD BE USED IN CONSTRUCTION. GUYS SHOULD BE ATTACHED LOOSELY TO ALLOW TREE TO SWAY NATURALLY.  
3. MULCH SHOULD BE APPLIED PERTICARILY IN 1" THICKNESS AS A MAXIMUM. TOP DRESSING. NEVER MOUND MULCH AROUND THE BASE OF THE TREE AS THIS WILL RESULT IN PREMATURE DEATH OF THE TREE.  
4. STAKE AND GUY WIRE SHOULD BE USED IN CONSTRUCTION. GUYS SHOULD BE ATTACHED LOOSELY TO ALLOW TREE TO SWAY NATURALLY.  
5. DRIVE STAKES AT SLIGHT ANGLE AND DRAW VERTICAL.  
6. GUY WIRES.  
7. TOP OF BALLOONERY GRADE TO BE LEVEL WITH FINISH GRADE.  
8. 3" DARK BROWN DOUBLE SHREDDED HARDWOOD MULCH, UNIFORMLY SPREAD.  
9. 6" SAUCER RIM.  
10. BACKFILL MIXTURE.  
11. UNDISTURBED SUBGRADE.  
12. PEDESTAL.  
13. 12" MIN.  
14. 2x BALL SIDE

GRAPHIC SCALE  
0 1 2 3 4 5 6 7 8 9 10  
(IN FEET)  
1 inch = 50 ft

**spieze**

SPIEZE ARCHITECTURAL GROUP, INC.  
1395 YARDVILLE ROAD, SUITE 2A  
HANOVER, NJ 08823  
PHONE: 609-262-1400

## PROGRAM LEGEND

- 1-COMMONS
- 2-SENIOR AND COMMUNITY
- 3-YOUTH
- 4-WELLNESS
- 5-AQUATIC CENTER
- 6-LOCKER ROOMS
- 7-SUPPORT SPACES
- 8-ADMINISTRATION
- 9-VERTICAL CIRCULATION
- 10-CIRCULATION
- 11-NOT CATEGORIZED

## ROOM AREA, FIRST FLOOR

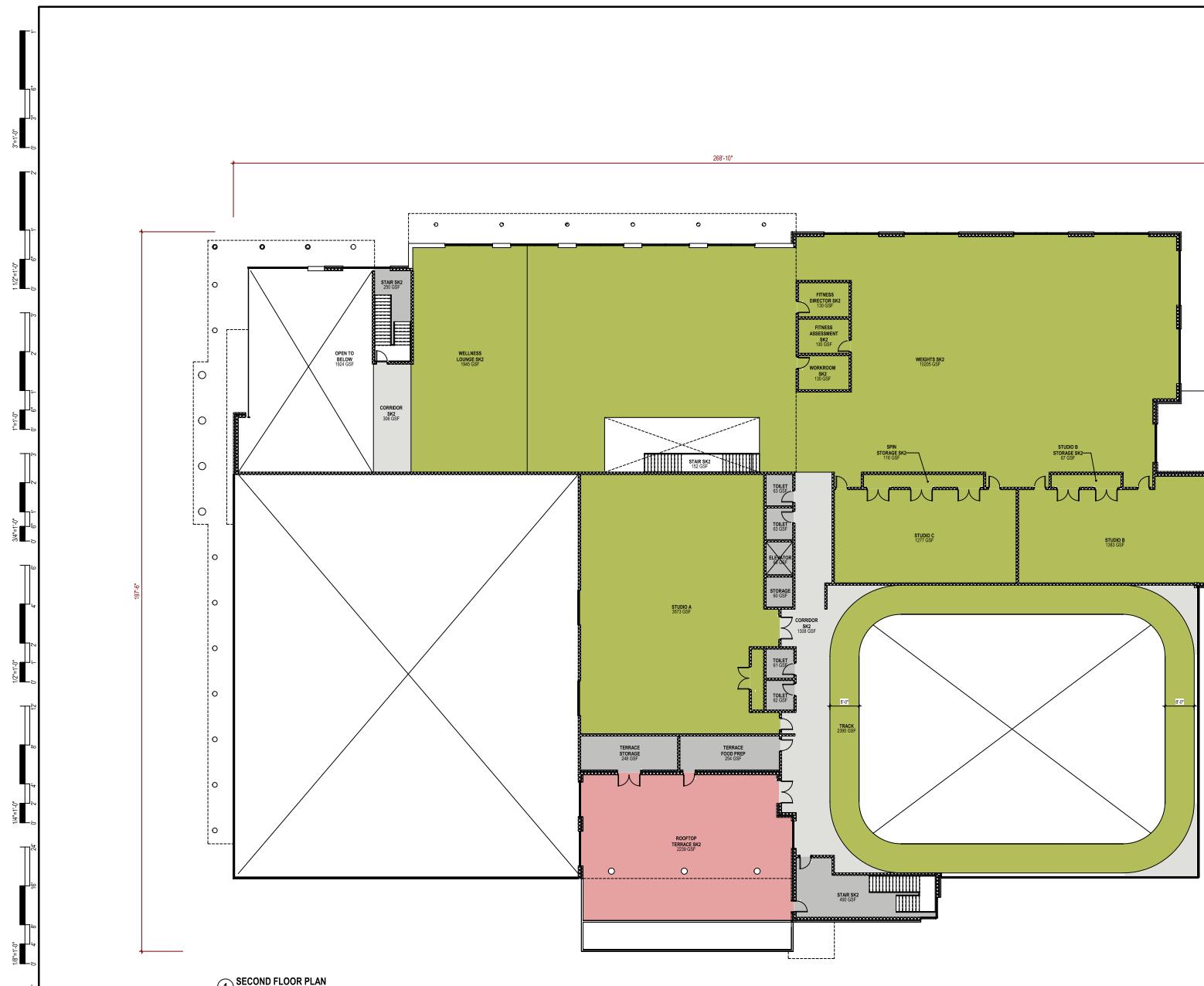
Name	Number	GSF
LEVEL 1		
COMMONS 1 GALLERY SPACE SK2	281	760
LOBBY SK2	283	10337
POOL SK2	288	750
MECHANICAL	293	601
DATA IT	300	136
HOUSE STORAGE	301	164
MEMPHIS LOCKERS	308	1158
STORAGE SK2	309	142
TOILET SK2	310	115
LOCKERS SK2	312	148
STORAGE SK2	313	148
UNIVERSAL	319	688
LOCKERS SK2	320	16
STORAGE SK2	331	16
CHHS 2 SK2	332	56
CHHS 3 SK2	337	54
TOILET	340	10
BN SK2	358	46
AD OFFICE SK2	360	138
CHHS 1 SK2	362	44
CHHS 2 SK2	363	65
CHHS 3 SK2	364	62
ART SK2	365	71
COMMUNITY FLEX	366	619
RESTROOM SK2	367	338
STAIR	368	10
CORRIDOR SK2	369	507
TOILET	370	51
STAIR	371	10
ELEVATOR MECH	372	57
DISABILITY ROOM	373	106
STAR	374	163
CHILD WATCH SK2	375	1172
TOILET	376	1144
TOILET SK2	377	43
TOILET	378	10
CHICKEN	379	117
KIDS ADV SK2	380	654
TOILET	381	43
TOILET SK2	382	72
WOMEN'S RESTROOM	383	225
TOILET	384	254
STAFF SK2	385	133
MEMBERSHIP SK2	386	153
TOILET	387	153
OFFICE	388	136
MEMPHIS GALLERY SPACE	389	1143
TOILET SK2	390	401
VESTIBULE SK2	391	150
VERANDA CAFE	392	158
TOILET SK2	393	158
STAIR	394	140
STAR	395	230
SENIOR BREAKOUT	396	1731
STORAGE SK2	397	65
CLASSROOM H1	398	496
CLASSROOM H2	400	521
STAIR	401	12
APT STORAGE	402	70
APT SK2	403	1063
STORAGE SK2	404	59
PANTRY	405	151
TOILET	406	10
WOMEN'S SK2	407	523
MP ROOM #1 SK2	408	1667
MP ROOM #2 SK2	409	1667
STORAGE	410	95
STORAGE	411	95
STORAGE	412	121
STORAGE	413	121
STORAGE	414	132
STAIR	415	123

45355

FOR BID:

DRAWING TITLE: FIRST FLOOR PLAN  
COMMISSION NUMBER: 24M001  
DRAWING NUMBER: 24M001  
DO NOT SCALE THE DRAWINGS

A1



#### PROGRAM LEGEND

- 1-COMMONS
  - 2-SENIOR AND COMMUNITY
  - 3-YOUTH
  - 4-WELLNESS
  - 5-AQUATIC CENTER
  - 6-LOCKER ROOMS
  - 7-SUPPORT SPACES
  - 8-ADMINISTRATION
  - 9-VERTICAL CIRCULATION
  - 10-CIRCULATION
  - 11-NOT CATEGORIZED

## ROOM AREA, SECOND FLOOR

NAME	NUMBER	LAST
LEVELS	416	1945
LINEAR SKZ	416	1945
WEIGHTS SKZ	417	10205
THICKNESS SKZ	417	135
DIRECTOR SKZ	419	130
ASSESSMENT SKZ	420	
ROOMNUMBER SKZ	420	100
STORAGE SKZ	420	550
STUDIO A	422	58
STORAGE	423	1277
STUDIO B	424	1583
SPN STORAGE	425	116
STUDIO C	426	67
STUDIO D	426	67
TOILET	427	63
TOILET	428	63
ELIMATOR	429	63
STORAGE	430	60
TOILET	431	61
TOILET	432	61
TERRACE	433	248
STORAGE	434	
UNIVERSAL FOOD PREP	434	254
DOOR	435	2239
TERRACE SKZ	436	1558
CORRIDOR SKZ	436	460
OPEN TO BELOW	436	1624
CORRIDOR SKZ	438	306
DOOR	439	307
STAR SKZ	441	192
TRADE	442	2395
CORRIDOR	443	63
CORRIDOR	444	62
CORRIDOR	445	62

GROUP

AMERICA

spieze

SPIEZLE ARCHITECTURAL GROUP  
1395 YARDVILLE HAMILTON SOUTHERN

CONSULT

PLANNING BOARD  
SUBMISSION 06/17/2024

PROJECT: HOPEWELL VALLEY SENIOR COMMUNITY

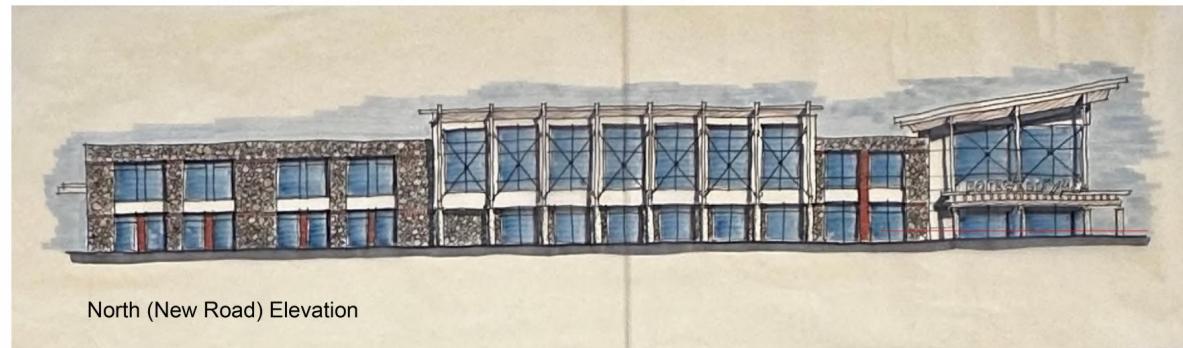
FOR CODE REVIEW:

FOR BID:

COMMISSION NUMBER:

DRAWING NUMBER: \_\_\_\_\_

A2



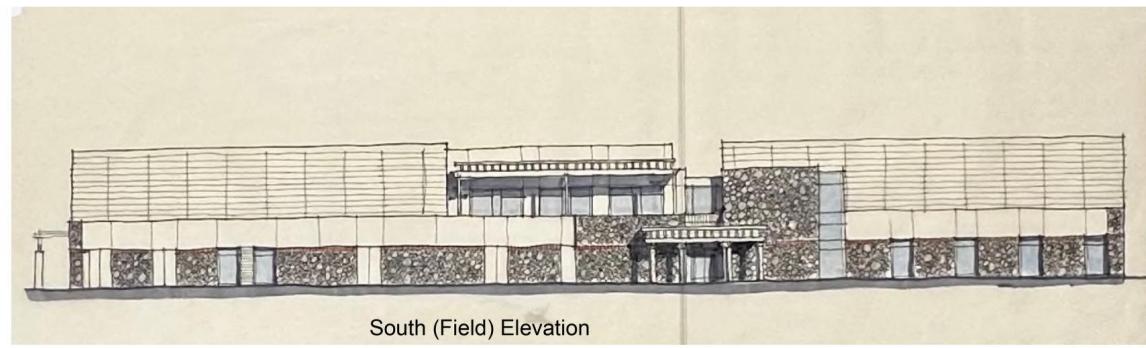
### North (New Road) Elevation



### East (Senior Entrance) Elevation



### East (Entrance) Elevation



### South (Field) Elevation



## CODE REVIEW

**CERTIFICA**

spiezle

SPIEZLE ARCHITECTURAL GROUP INC.  
1395 YARDVILLE HAMILTON SQUARE ROAD  
SUITE 2A  
HAMILTON, NJ 08561

PHONE: 609-835-7400

REND 21A0155400  
RE 21A0162400  
E 21A0172900  
GD. 21A0158400  
R10 21A0168620

2000

---

PLANNING BOARD  
SUBMISSION 06/17/2024

PROJECT:

FOR  
HOPEWELL TOWNSHIP  
MERCER COUNTY, N.J.

FOR CODE REVIEW:

---

ANSWER NAME \_\_\_\_\_ DATE \_\_\_\_\_

五

FOR SALE

THE INFLUENCE OF CULTURE ON PARENTING

COMMISSION NUMBER:

24M001

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:

A5

